



Watertown Township Zoning Ordinance

Effective May 4, 2014

Amended through March 28, 2021

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Table of Contents

Table of Contents with Sections ii How to Use this
Ordinance vi Article 1.0 Purpose and Introduction 1-1
Article 2.0 Definitions 2-1 Article 3.0 Zoning Districts 3-1
Article 4.0 Use Standards 4-1 Article 5.0 Site Standards
5-1 Article 6.0 Development Procedures 6-1 Article 7.0
Administration, Appeals and
Enforcement 7-1



Table of Contents with Sections

How to Use this Ordinance vi 1. Content Organization and Page Layout vi 2. Symbols and User Notes vii 3. Reading the Ordinance viii
4. Use Matrix x 5. District Summary Table xiv

Zoning Map xv

Article 1.0 Purpose and Introduction 1-1 28-1.1 Title 1-3 28-1.2 Purpose 1-3 28-1.3 Scope and Interpretation 1-3 28-1.4 Legal Basis 1-3 28-1.5 Zoning Application 1-3 28-1.6 Severability; Rules Applying to Text 1-3 28-1.7 Conflicting Provisions 1-4

Article 2.0 Definitions 2-1 28-2.1 Construction of Language 2-4 28-2.2 Definitions: A-D 2-4 28-2.3 Definitions: E-H 2-8 28-2.4 Definitions: I-M 2-10
28-2.5 Definitions: N-R 2-14 28-2.6 Definitions: S 2-16 28-2.7 Definitions: T-Z 2-20

Article 3.0 Zoning Districts 3-1 28-3.1 Districts Established 3-3 28-3.2 The Zoning Map 3-34 28-3.3 Conflicts with Zoning District Boundaries 3-34 28-3.4 Zoning of Vacated Areas 3-34 28-3.5 Zoning of Filled Land 3-34 28-3.6 Zoning District Changes 3-34 28-3.7 Prohibited Uses, Generally 3-35 28-3.8 AP Agricultural Preservation District Regulations 3-35 28-3.9 MHP Manufactured Home Park Regulations 3-35 28-3.10 B-1, B-2, and LI District Regulations 3-38 28-3.11 Building and Structure Height Exceptions 3-38


clearzoning I[®] ii



Watertown Township Zoning Ordinance

Table of Contents with Sections

Article 4.0 Use Standards 4-1 28-4.1 Farms 4-3 28-4.2 Retail Sales of Produce Grown on the Premises 4-3 28-4.3 Single-Family Dwellings 4-3 28-4.4 Home Occupations 4-4 28-4.5 Greenhouses and Nurseries 4-5 28-4.6 Kennel, Noncommercial 4-6 28-4.7 Kennels, Commercial or Veterinary Services 4-6 28-4.8 Reserved 4-6 28-4.9 Farm Labor Housing 4-6 28-4.10 Commercial and Group Day Care 4-7 28-4.11 Airports and Landing Strips (Private) 4-7 28-4.12 Removal and Processing of Topsoil, Stone, Rock, Sand, Gravel, Lime or Other Soil or Mineral Resource 4-7 28-4.13 Towers in Excess of 50 Feet 4-8 28-4.14 Radio and Television Transmitting Buildings and Towers 4-9 28-4.15 Churches 4-9 28-4.16 Public and Private Schools 4-10 28-4.17 Cemeteries 4-10 28-4.18 Landscaping, Lawn Service, Snowplowing 4-10 28-4.19 Rural Planned Unit Development (RPUD) 4-11 28-4.20 Athletic Grounds and Parks 4-15 28-4.21 Farm Equipment Sales and Service 4-15 28-4.22 Commercial Storage and Sale of Products Essential to Agricultural Production 4-16 28-4.23 Triplex or Quadruplex Dwellings 4-16 28-4.24 Country Clubs and Golf Courses 4-16 28-4.25 Public or Private Campgrounds 4-16 28-4.26 State Licensed Residential Group Home Facilities 4-16 28-4.27 Nursing Homes 4-16 28-4.28 Retail Businesses 4-17 28-4.29 Personal Service Establishments 4-17 28-4.30 Restaurants 4-17 28-4.31 Office Buildings 4-18 28-4.32 Commercial Planned Unit Development (CPUD) 4-18 28-4.33 Banks, Credit Unions, and Similar Financial Institutions 4-21 28-4.34 Mortuaries and Funeral Homes 4-21 28-4.35 Vehicle Service Stations 4-21 28-4.36 Service Centers 4-22



clearzoning I [®] iii Watertown Township Zoning Ordinance

Table of Contents with Sections

28-4.37 Vehicle Wash Establishments 4-22 28-4.38 Open Air Businesses 4-22 28-4.39 Sales and Storage of Building Materials 4-23 28-4.40 Public Buildings and Public Utility Offices 4-23 28-4.41 Multiple-Family Dwellings 4-23 28-4.42 Mini-Storage 4-23 28-4.43 Assembly Buildings 4-24 28-4.44 Hospitals, Urgent Care Facilities, Private Ambulance Services and Outpatient Surgery Facilities 4-24 28-4.45 Hotel and Motel Establishments 4-24 28-4.46 Research and Development Facilities 4-24 28-4.47 Truck and Freight Terminals, and Maintenance Facilities 4-24 28-4.48 Junkyards and Salvage Yards 4-25 28-4.49 Sanitary and Hazardous Waste Landfills 4-25 28-4.50 Tool and Die 4-28 28-4.51 Reserved 4-28 28-4.52 Body Shops and Wrecker Services, Including Storage Yard 4-28 28-4.53 Adult Uses 4-29 28-4.54 Vehicle Repair 4-30 28-4.55 Open Space Uses 4-30 28-4.56 Seasonal Uses 4-31 28-4.57 Private Boat Docks, Accessory to Residential Uses 4-31 28-4.58 Private Boat Docks, Accessory to Nonresidential Uses 4-31 28-4.59 Alternative Energy Systems 4-32 28-4.60 Outdoor Boilers 4-33 28-4.61 Keeping of Animals 4-33 28-4.62 Temporary Buildings and Uses 4-34 28-4.63 Bed & Breakfast Establishments 4-34 28-4.64 Industrial Plants, Manufacturing of Fabricated Products 4-35 28-4.64 Industrial Plants, Manufacturing of Fabricated Products 4-35 28-4.64 Solar Energy Systems 4-35

Article 5.0 Site Standards 5-1 28-5.1 Required Access and Frontage 5-3 28-5.2 Required Area or Space 5-3 28-5.3 Cul-de-sac Lots 5-3 28-5.4 Corner Lots 5-4 28-5.5 Clear Vision Areas 5-

iv Watertown Township Zoning Ordinance



Table of Contents with Sections

28-5.9 Fences 5-6 28-5.10 Swimming Pools 5-7 28-5.11 Satellite Dish Antennas 5-7 28-5.12 Storage of Recreation Equipment 5-8 28-5.13 Storage and Repair of Vehicles 5-8 28-5.14 Prohibited Dwellings 5-8 28-5.15 Water and Sanitary Sewer Service 5-8 28-5.16 Mechanical Appurtenances 5-8 28-5.17 Essential Public Services 5-9 28-5.18 Outdoor Lighting 5-9 28-5.19 Junk & Junk Motor Vehicles 5-10 28-5.20 Earth Changes 5-10 28-5.21 Signs 5-10 28-5.22 Off-Street Parking and Loading 5-17 28-5.23 Landscaping and Screening 5-26 28-5.24 Accessory Buildings, Structures, and Uses 5-33 28-5.25 Private Drive Standards For Emergency Access 5-34 28-5.26 Filling of Land with Soil, Sand, Gravel, Clay or Similar Materials 5-35

Article 6.0 Development Procedures 6-1 28-6.1 Site Plan Review 6-3 28-6.2 Special Land Uses 6-8 28-6.3 Site Condominium / Condominium Review and Approval Procedures 6-9 28-6.4 Special Land Use Permits 6-9

Article 7.0 Administration, Appeals and Enforcement 7-1 28-7.1 Zoning Administrator 7-3 28-7.2 Permits 7-3 28-7.3 Enforcement 7-3 28-7.4 Amendments 7-5 28-7.5 Fees 7-5 28-7.6 Board of Appeals 7-5 28-7.7 Nonconforming Lots, Buildings, Structures, and Uses 7-8 28-7.8 Withholding Approval 7-10 28-7.9 Timely Completion of Construction Required 7-10 28-7.10 State Construction Code 7-10 28-7.11 Construction Hours of Operation 7-10



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How to Use This Ordinance

1. CONTENT ORGANIZATION AND PAGE LAYOUT

The Zoning Ordinance is organized into seven Articles, which are further divided using standard outline hierarchy. The content and page layout are designed to promote a clear understanding of requirements, as well as quick retrieval of relevant standards, procedures and other information. The following key assists with navigating through this document.

- page of each Article. Red tab indicates the Article in which the current page is located.
- User Notes provide helpful information for digital and hard copy formats. User Notes are always highlighted in blue. Sections and Subsections contain the Ordinance regulations in a hierarchical manner. Blue bold font links to standards in other sections of the Ordinance. Graphics, figures, and tables illustrate concepts or clarify regulations.

Article Tabs link to the first

Link to **How to Use This Ordinance**.
 Link to **Zoning Map**.



Notes provide relevant district information recommended for review.
 Link to **Table of Contents**.
 Selected References list development in the other sections or

Ordinances that may pertain to a development in the district.
 Pages are numbered sequentially within each Article.



2. SYMBOLS AND USER NOTES

The following symbols are used throughout the Zoning Ordinance:

 indicates the term is defined in Article 2, Definitions. (Note: Not every defined term is designated with a  symbol. Consult Article 2, Definitions, for a list of all defined terms.)

 indicates there is a graphic that illustrates the standard or requirement.


P
L


identifies a property line.

C
L

identifies the right-of-way centerline.

R/W identifies the right-of-way.

 identifies a User Note that provides helpful information for all users.

 identifies a Digital User Note that provides helpful information for users with a digital version of the Zoning Ordinance.

How to Use This Ordinance

3. READING THE ORDINANCE

Rules have been established to assist with interpreting the ordinance. Below are some rules to keep in mind when reading this document:

- ✓ Sometimes there may be general and specific regulations that pertain to one particular aspect of site design. In such instances, the specific regulations must be followed.
- ✓ Discrepancies between text and an illustration (including its caption) may occur. In the case of such discrepancies, the text is considered the accurate source of information.
- ✓ The use of the word shall carries significant meaning. Shall regulations must be followed. Requirements that use the word may are discretionary, meaning that the requirement is at the discretion of the Township Board, Planning Commission or Zoning Board of Appeals.
- ✓ Article 2, Definitions, contains over 120 terms. If a term is not listed in this section, it will carry the meaning customarily assigned to it.
- ✓ Conjunctions are often used and must be read accurately:

- AND indicates that all connected items, conditions, provisions or events shall apply.

- OR indicates that the connected items, conditions, provisions or events may apply singly or in any combination.

- EITHER ... OR indicates that the connected items, conditions, provisions or events shall apply singly, but not in combination.

For more rules, see [Section 2.1 Construction of Language](#).



Digital User Note:

What is a link?

A link allows for quick reference to a relevant section. By 'clicking' a link, the user is taken directly to a page in the Ordinance or another reference document. The user may return to the original page by clicking the 'previous view' button in Adobe Acrobat Reader.



If you do not see the 'previous view' button on your Adobe Acrobat Reader screen, you can add it by turning on your 'page navigation toolbar'. For assistance, refer to the 'Help' menu in your version of Acrobat Reader.

What information is linked?

All **blue text** is linked to either another page within the Zoning Ordinance, a separate Township ordinance or document, or an external website.

In addition, several other features of the document are linked to allow users to navigate through the ordinance. Click on any of the following features to quickly locate another section:



Article tabs located on the side of each page are linked to the Contents page of each Article.

Icons located at the bottom of each page are linked to the 'How to Use This Ordinance' section, the main Table of Contents, and the Zoning Map

Use Matrix district headings are linked to the corresponding district regulations page in Article 3.

'How do I calculate height' button located on each district regulations page is linked to the definition of building height in Article 2.

Zoning Map Legend headings are linked to the corresponding district regulations page in Article 3.

Business District

1.

2. AG

10. B-2 Business District

Agricultural District

11.

3. RR Rural Residential District 4. R-1 Single-

12. F-1 Floodplain District

Family Residential District 5. R-2 Two-Family

13. LGR Looking Glass River Overlay District 14.

Residential District 6. R-3 Multiple-Family District

GR Grand River Avenue Overlay District

7. VSC Village Service Center District 8.

9. B-1 Local



Digital User Note: Click on a district heading to go directly to the corresponding district regulations.

How to Use This Ordinance

4. USE MATRIX

Below is a reference table that summarizes the uses listed in the Ordinance. Uses below are generalized. Consult [Section 3.1](#) as certain conditions and standards may apply. If there are any conflicts between this table and the uses listed in Section 3.1, the latter will control.

P = Principal Permitted Use
 S = Special Land Use A = Accessory Use

corresponding district regulations.



Digital User Note:

AG RR R-1 R-2 R-3 VSC

Click on a district heading below to go directly to the

Accessory buildings	P	P	P	P	P	P	P	
Airports and landing strips	S	S						
Athletic grounds and parks	S	S	S	S	S	S	S	
Bed and breakfast establishments	P	P	P	S	S	S	P	
Campgrounds, public and private		S	S					
Cemeteries	S	S	S					
Churches	S	S	S	S	S	S	S	
Commercial storage and sales of products essential to agricultural production	P	S						
Condominiums, site and subdivisions				S	S			
Country clubs and golf courses		S	S	S				
Day care homes, family	P	P	P	P	P	P	P	
Day care homes, group	P	P	P	P	P	P	P	
Day care, commercial				S	S	S	S	
Dwellings, multiple-family						S		
Dwellings quadruplex					S			
Dwellings, single-family	P	P	P	P	P		P	
Dwellings, triplex					S			
Dwellings, two-family					P	P	P	
Farm equipment sales and service	P	S	S					
Farm labor housing	S	S						
Farms	P	P	P					
Greenhouses and nurseries	P/S	P/S	P					
Home occupations	P	P	P	P	P	P		
Kennels, commercial	S	S	S				S	
Kennels, private		P	P					
Landscaping, lawn service,	S	S	S					

snowplowing								
Manufactured homes								P
Nursing homes						S		
Office buildings							P	
Personal service establishments							P	
Planned unit development, commercial						S		
Planned unit development, rural	S	S	S	S	S	S	S	

Continued on next page



Watertown Township Zoning Ordinance

Amended through 9/3/2017

How to Use This Ordinance

4. USE MATRIX (Continued)

Below is a reference table that summarizes the uses listed in the Ordinance. Uses below are generalized. Consult [Section 3.1](#) as certain conditions and standards may apply. If there are any conflicts between this table and the uses listed in Section 3.1, the latter will control.

P = Principal Permitted Use

S = Special Land Use

A = Accessory Use  Digital User Note:

Click on a district heading below to go directly to the corresponding district regulations.

AG RR R-1 R-2 R-3 VSC

Public utility or service buildings, not requiring outdoor storage or materials	P	P	P	P	P	P	P	
Radio and television transmitting buildings and towers	S	S	S					
Removal and processing of soil and other mineral resources	S	S	S					
Residential family home facility, state licensed	P	P	P	P	P	P	P	
Residential group home facility, state licensed					S	S	S	
Restaurants, not including drive-through							S	

Retail businesses							S	
Retail sales of produce grown on the premises	P	P						
Riding stables, commercial	S	S	S	S				
Roadside stands for sale of produce grown on the premises			A					
Schools, public and private	S	S	S	S	S		S	
Small wind energy conversion systems	P	P	P	P	P	P	P	
Tool and die								
Towers in excess of 50 ft	S	S	S	S				
Veterinary services		S					S	

Continued on next page

How to Use This Ordinance

4. USE MATRIX

Below is a reference table that summarizes the uses listed in the Ordinance. Uses below are generalized. Consult [Section 3.1](#) as certain conditions and standards may apply. If there are any conflicts between this table and the uses listed in Section 3.1, the latter will control.

P = Principal Permitted Use

S = Special Land Use A = Accessory Use



Digital User Note:

Click on a district heading below to go directly to the corresponding district regulations.

Accessory buildings	P	P	P			
Accessory uses	P	P		P		
Adult uses			S			
Assembly buildings	S	S	S			
Athletic grounds and parks	S		P			
Banks & credit unions, including drive-through	S	S				
Banks & credit unions, not including drive-through	P	P				
Boat launches, public or private					S	
Body shops and wrecker services, including storage yards			S			
Campgrounds, public and private					S	
Country clubs and golf courses	S	S				
Day care, commercial	P	P				
Docks and piers				S		
Docks, private					A	
Hospitals, urgent care, private ambulance and outpatient surgery facilities		S	P			
Hotel and motel establishments		S				
Industrial plants			P			
Industrial plants, manufacturing of fabricated products			S			
Junkyards and salvage yards			S			
Landfills, sanitary and hazardous waste			S			
Landscaping, lawn service, snowplowing		S	P			
Manufactured homes						
Mini-storage units		S	P			
Mortuaries and funeral homes	S	S				
Nursing homes		S				
Offices, professional			P			
Offices, professional and business	P	P				

Warehousing	Watertown Township Zoning Ordinance	P			
	Updated Through				
Wholesale businesses	3/28/21	P			

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How to Use This Ordinance

5. DISTRICT SUMMARY TABLE

Below is a quick reference table that summarizes district regulations. Consult [Article 3 Zoning Districts](#) for additional requirements and exceptions to the information below.

District Summary Table					
District	Minimum Lot Size	Minimum Lot Width (feet)	Setbacks		
			Front Yard (feet)	Side Yards (feet)	Rear Yard (feet)
AP Agricultural Preservation	*	150	50	30 res. 40 non-res.	50
AG Agricultural	1 acre	150	50	30 res. 40 non-res.	50
RR Rural Residential	2 acres	165	50	30 res. 40 non-res.	50
R-1 Single-Family Residential	40,000 sq. ft no sewer 20,000 sq. ft with sewer	150 no sewer 100 with sewer	30	10 res. 20 non-res.	40
R-2 Two-Family Residential	40,000 sq. ft no sewer 20,000 sq. ft with sewer	150 no sewer 100 with sewer	30	10 res. 20 non-res.	40
R-3 Multiple-Family Residential		150 two-family 250 multi-family	30	25 res. 30 non-res.	40
VSC Village Service Center	15,000 sq. ft. res. 20,000 sq. ft non-res.	85 res. 100 non-res	20 res 30 non-res.	15 res. 20 non-res.	20
MHP Manufactured Home Park	10 acres park 5,000 sq. ft. home site	40	20	20	20
B-1 Local Business	30,000 sq. ft.	100	50	15	30
B-2 Business	60,000 sq. ft.	150	50	20	30
LI Light Industrial	40,000 sq. ft.	150	Varies	Varies	Varies

* In the AP Agricultural Preservation district, the maximum allowable lot size is 2 acres.



Digital User Note:
Click on a district heading in the map legend to go directly to the corresponding district regulations.

Article 1.0

Purpose and Introduction

1-1

Legal Basis

Article 1.0 Purpose and Introduction

28-1.1 Title

28-1.2 Purpose

28-1.3 Scope and Interpretation 28-1.4

28-1.5 Zoning Application

28-1.6 Severability; Rules Applying to

Text 28-1.7 Conflicting Provisions

1.0 Purpose and Introduction

28-1.1 TITLE

This chapter shall be known and may be cited as the "Watertown Charter Township Zoning Ordinance."

28-1.2 PURPOSE

1. This chapter is based upon the township master plan and is designed to accomplish the following objectives:

A. To promote the public health, safety and general welfare;

B. To encourage the use of land in accordance with its character and adaptability and to limit the improper use

of land;

C. To conserve natural resources and energy, to meet the needs of the state's citizens for food, fiber and other natural resources, places of residence, recreation, industry, trade, service and other uses of land; other use or utilization of land than are

imposed or required by such existing laws,

D. To ensure that uses of land shall be situated in appropriate locations and relationships; This chapter is enacted pursuant to

E. To avoid the overcrowding of population; F. To provide adequate light and air;

G. To ease congestion on the public roads and streets;

Zoning Enabling Act, Public Act No. 110 of 2006

H. To reduce hazards to life and property; I. To facilitate the adequate

system of transportation, sewage disposal, safe and adequate water supply, education, recreation and other public requirements; and

J. To manage the expenditure of funds for public improvements and services so as to thereof shall be erected, moved, placed,

reconstructed, extended, enlarged or altered,

obtain the most advantageous uses of land, resources and properties.

specific reference, or with private restrictions placed upon property by covenant, deed or other private agreement, or with restrictive covenants running with the land to which the township is a party.

2. Where this chapter imposes greater restrictions, limitations, or requirements upon the use of buildings, structures, or land; the height of buildings or structures; lot coverage; lot areas; yards or other

28-1.3 SCOPE AND INTERPRETATION

1. This chapter shall not repeal, abrogate, annul

or in any way impair or interfere with existing

provisions of other laws, ordinances or

regulations, except those repealed herein by

open spaces; or any

ordinances, regulations, private restrictions, or

restrictive covenants, the provisions of this

chapter shall control.

28-1.4 LEGAL BASIS

the Michigan

(MCL 125.3101 et seq.).

28-1.5 ZONING APPLICATION

Zoning applies to every building, structure or use.

structure or part

No building, structure or land shall be used or occupied, and no building or

except in conformity with this chapter.

28-1.6 SEVERABILITY; RULES APPLYING TO TEXT

1. If any portion of this chapter or the circumstances shall be application thereof to any person or

2. This chapter is adopted with reasonable consideration, among other things, of the character of each zoning district, its unique suitability for particular uses, the conservation of property values and natural resources, and the general and appropriate trend and

found to be invalid by a court, such invalidity

shall not affect the remaining portions or

character of land, building and

population development. are declared to be severable. to this end all portions of this chapter

applications of the portion which can be given effect without the invalid portion or application, providing such remaining portions are not determined by the court to be inoperable, and

2. If the meaning of this chapter is unclear in a particular circumstance, then the body charged with interpreting or applying the chapter shall construe the provision to carry out the intent of the chapter, if such intent can be discerned from other provisions of the chapter or law.

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1-3

agency is a Saturday, Sunday, or legal holiday when the township offices are closed, the period is extended to include the next day which is not a Saturday, Sunday, or such legal holiday.

3. In computing the number of days, the first day

is excluded and the last day is included. If the

last day of any period during which an

application, filing, or request is required to be

made to the township or other governmental

28-1.7 CONFLICTING PROVISIONS

Where a provision of this chapter conflicts with a provision of another ordinance, the strictest provision shall prevail.

1-4

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Article *Definitions*
2.0

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Watertown Township Zoning
Ordinance

2-1

Article 2.0 Definitions

2.1 Construction of Language

Section 2.2 Definitions: A-D	Essential services			Fence
Accessory building	Section 2.4 Definitions: I-M		Agriculture	Floor area, gross (GFA)
Accessory use	Industrial plants		Alterations	Floor area, usable (UFA)
Section 2.3 Definitions: E-H	Industrial plants, manufacturing		Animals, domesticated	of fabricated products
Erected			Architectural features	Junk
			Average grade	Junk motor vehicle
			Base density	Junk yard
			Excavating	Kennel, commercial
			Family*	Kennel, private
			Farm	
Basement or cellar	establishment		Landmark tree	
Bed and breakfast	Frontage	Full cut-off luminaries	Loading space	
	Buildable area	Building	Home occupation, class B	Lot coverage
	Building envelope	Building	Hospital	Lot, depth
	height	Building, main	Hotel / motel	Lot, double frontage (through)
	Building permit		Lot	
	Garage		Lot area	
	Home occupation, class A		Lot, corner	
Building setback lines	Lot, interior			
		Clearance limit	Lot lines*	
		Commercial	Lot of record	
		Commercial wireless	Lot, waterfront	
		telecommunication services	Day	Lot width (frontage)
		care, commercial	Day	Luminaire
		Day care, home*	Day	Manufactured home
		District, zoning	Day	Manufactured home park
Drive-through facility	Manufactured home space			
		Driveway, private	Master plan	
		Dwelling / dwelling unit	Medical marijuana dispensary	
		multiple-family	Motel	
		Dwelling, quadruplex	Motor home	
		Dwelling, single-family (detached)		
Dwelling, triplex				
		Dwelling, two-family		

*Multiple terms are defined in

this ordinance.

2-2

Sanitary sewer service	Section 2.7	use	Travel trailer
Satellite dish antenna or dish	Definitions: T-Z	Unconstrained lands	
Nonconforming use	Temporary building or establishment	Use, principal	
Nonresidential district	antenna	Uses, adult*	
Nursing home	Sensitive lands	Vehicle repair	
Open air business	Setback or setback area	Vehicle service station	
Open space	Significant natural features	Vehicle wash establishment	
Ordinary high-water mark	Signs*	Wind energy conversion system (WECS)	
Outdoor boiler	Site condominium	Wind energy conversion system, small	
Parking lot	State licensed residential facility*	Wholesale business	
Parking space	Story		
Personal service	Story, half		
Planned unit development	Street, private		
Porch, enclosed	Primary caregiver	Substantial improvement	Zoning Act
Porch, open	Public utility	Yard*	Zoning Administrator
	Street, public	Yard, required	
	Structure		
Public water supply equipment	Recreational vehicle or (RPUD)		
Residential district			
Roadside stand			
Rural planned unit development			

*Multiple terms are defined in this ordinance.

Accessory use means a use naturally and normally

28-2.1 CONSTRUCTION OF LANGUAGE

2.0 Definitions

incidental and subordinate to, and devoted

1. The word "shall" is always mandatory and not discretionary. The word "may" is permissive. exclusively to the main use of the land or building.

Alterations means any change, addition or modification in construction or type of use of occupancy; any change in the supporting structural members of a building, such as walls, partitions,

5. The word "person" includes an individual, a corporation, a partnership, an incorporated commercial purposes. Such animals shall be distinguished as follows:

2. All words and phrases shall be construed and understood according to the common preferred usage of the language; but technical words and phrases and such as may have acquired a peculiar and appropriate meaning in the law shall be construed and understood according to such peculiar and appropriate meaning.

the future; and words used in the singular number shall include the plural; and the plural the singular, unless the context clearly indicates the contrary.

association, or any other similar entity. 6. Unless the context clearly indicates the contrary, the conjunctions noted below shall be interpreted as follows:

3. Words used in the present tense shall include Agriculture means the use of land as a source of income by tilling the soil, raising trees or field crops, or animal husbandry.

4. A "building" or "structure" includes any part thereof. A building shall be considered a structure. columns, beams, girders, or any change which may be referred to herein as "altered" or "reconstructed." Animals, domesticated means all animals, including poultry and excluding household pets, kept and raised as part of a farming operation or raised for

A. The term "and" indicates that all connected items, conditions, provisions, or events 1. Large animals means those animals including, but not limited to horses, cows, pigs or bison; 2. Medium animals means those animals including, but not limited to sheep, goats, llamas, alpacas or miniature horses; 3. Poultry means those animals including, but not

shall apply. limited to chickens, ducks, geese or turkeys.

B. The term "or" indicates that the connected items, conditions, provisions or events may apply singularly or in any combination.

connected items, conditions, provisions or events shall apply singularly but not in combination.

Architectural features means cornices, eaves, gutters, belt courses, sills, lintels, bay windows, chimneys and decorative ornaments.

C. The term "either . . . or" indicates that the

Average grade means the average finished ground elevation at the center of all walls of a building established for them in this Section, except where the the purpose of regulating the

28-2.2 DEFINITIONS: A-D

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this Section, except where the context clearly indicates a different meaning:

number of stories and the height of buildings. The building grade shall be the level of the ground adjacent to the walls of the building if the finished grade is level. If the ground is not entirely level, the grade shall be determined by averaging the elevation of the ground for each face of the building or structure being measured.

Accessory building means a building or portion of a building supplementary and/or

subordinate to a Base density means the density permitted within a

main building on the same lot occupied

by or devoted exclusively to an accessory use. When an accessory building is attached to a main building in a substantial manner, such as a wall or roof, the accessory building shall be considered a part of the main building. rural planned unit development (rural PUD) as determined through submission of a plan drawn in conformance with the existing zoning of the property which is the subject of the rural PUD.

2-4

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Basement or Cellar means a portion of a building having more than one-half of its average height below grade. 🏠

$\frac{1}{2}$
 $\frac{1}{2}$
BASEMENT

BUILDING HEIGHT

GABLE

Front

view

$\frac{1}{2}$ $\frac{1}{2}$

GAMBREL

story a

a

$\frac{1}{2}$ $\frac{1}{2}$

b

HIP

story

Front view

Front view

b

FLAT

a < b = basement

a > b = story

Bed and breakfast establishment means a use

transient guests are provided a sleeping room,

within a detached single-family dwelling in which breakfast and access to bathing and lavatory facilities in return for payment.

Front view

requirements of this

lot after the minimum setback and open space

Front view
MANSARD

Buildable area means the space remaining within a

chapter have been met.

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Deck line

Building means an independent structure, either

Building height means the vertical distance

temporary or permanent, having a roof supported by columns, walls, or any other support used for the enclosure of persons, animals, or chattels, or carrying on business activities or other uses. When any portion thereof is completely separated from every other part thereof by division of walls from the measured from the established grade to the

deck of mansard roofs; and to the mean height level between eaves and ridge of gable, hip and gambrel roofs. When the terrain is sloping, the ground level is measured at the wall line. 🏠

highest point of the roof surface if a flat roof; to the

ground up, and without openings, each portion of such building shall be deemed a separate building.

Building, main means a building in which is

Building envelope for a rural PUD means that portion of a lot within which the main building, accessory buildings, and driveways are to be constructed, and including all yards and setbacks required by this chapter or as approved as part of the rural PUD approval. conducted the principal use of the lot on which it is situated.

Building permit means a written authority as issued by the building inspector on behalf of the township permitting the construction, moving, alteration or use of a building in conformity with the provisions

of this chapter and the state construction code.

wares, merchandise or personal services or the maintenance of service offices or recreation or amusement enterprise or

or radio, paging, and similar services that are marketed to the general public.

Building setback lines means lines marking the setback distance from the lot lines which establish the minimum permitted front, side, or rear yards as required by the zoning district in which a lot is located.

- 1. Front setback line. The line marking the setback distance from the front lot line which establishes the minimum front yard setback area.
 - 2. Rear setback line. The line marking the setback distance from the rear lot line which establishes the minimum rear yard setback area.
- yard, garage or similar sales operating more than 12 days during any one, six-month period.

Commercial wireless telecommunication services means licensed telecommunication services including cellular and mobile telephone

3. Side setback lines. Lines marking the setback distance from the side lot lines which establish the minimum side yard setback area.

BUILDING SETBACK

Day care, commercial means a facility, other than a private residence, receiving minor children or adults for care for periods of less than 24 hours in a day, for more than two weeks in any calendar year. Child care and supervision provided as an accessory use,

Commercial means the use of property in connection with the purchase, sale, barter, display, or exchange of goods, while parents are engaged or involved in the

principal use of the property, such as a nursery church services or public meetings, or by a fitness center or similar operation, shall not be considered commercial day care.

Min. side setback
Min. rear setback

Day care, home.

- 1. Family day care home. A single-family

Building envelope

Min. side setback operated during

seven minor children or adults for periods of less than 24 hours per day, unattended by a parent or legal guardian. Care for persons related by blood, marriage or adoption to a

residence, occupied as such, in which care is provided for more than one but fewer than

member of the family occupying the dwelling is excluded from this definition.

single-family residence, occupied as such, in which care is

Min. front setback

- 2. Group day care home. A

for periods of less than 24 hours per day, unattended by a parent or legal guardian. Care for persons related by blood, marriage, or adoption to a member of the family occupying the dwelling is excluded from this definition.

to be excavated or cleared of existing vegetation and/or topsoil for the purposes of construction of

District, zoning means a portion of the township

main and accessory buildings, utility lines, driveways, sidewalks, and other similar necessary structures or facilities.

within which certain uses of land and/or buildings are permitted and within which certain regulations and requirements apply under the provisions of this chapter.

Clearance limit for a rural PUD means those portions of a building envelope which are required provided for at least seven but not more than 12 minor children or adults

2-6

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Drive-through facility means a commercial establishment whose retail/service character is significantly dependent on providing a driveway approach and service windows or facilities for vehicles in order to serve patrons while in or

momentarily stepped away from the vehicle. Examples include banks, cleaners, and restaurants, but not including automobile service stations.

Driveway, private means a private easement or accessway providing vehicular access to a public street for more than one lot or through another lot.

Dwelling or dwelling unit means any building or portion thereof having cooking and housekeeping facilities, which is occupied wholly as the home,

residence or sleeping place of one family, either permanently or transiently, but in no case shall a

motor home, recreational vehicle, garage,

automobile chassis, tent, portable building,

commercial or industrial building be considered a dwelling. In case of mixed occupancy, where a building is occupied in part as a dwelling unit, the part so occupied shall be deemed a dwelling unit and shall comply

with the applicable provisions of

this chapter.

Dwelling, multiple-family means a building or portion thereof, used or designed for residential use for three or more families living independently of each other and each doing their own cooking and housekeeping.

Dwelling, quadruplex means a detached building or structure containing four dwelling units designed for the use and occupancy by one family in each dwelling unit with each dwelling unit containing housekeeping facilities.

Dwelling, single-family (detached) means a detached building used or designed for residential use exclusively by one family.

Dwelling, triplex means a detached building or structure containing three dwelling units designed for the use and occupancy by one family in each dwelling unit with each dwelling unit containing housekeeping facilities.

Dwelling, two-family means a detached building used or designed for residential use exclusively by two families living independently of each other and each doing their own cooking and housekeeping. It may also be termed a duplex.

include any society,

28-2.3 DEFINITIONS: E- H

The following words, terms and phrases, when used

in this chapter, shall have the meanings ascribed to

them in this Section, except where the context

Family.

1. An individual or group of two or more persons related by blood, marriage, or adoption, together with foster children and servants of

including mains, drains, sewers, pipes, conduits, intended to be permanent.

wires, cables, fire alarm boxes, traffic signals, hydrants, towers, poles, and other similar equipment, and accessories in connection therewith reasonably necessary for the furnishing of adequate service by such public utilities or municipal departments or commissions or for the public health or general welfare. Essential services shall not include buildings other than such

common household

gardening. walls or from the centerline

of walls separating two

area. Areas of basements (except as provided

clearly indicates a different meaning:

Erected means built, constructed, reconstructed, moved upon, or any physical operations on the premises required for the building. Excavations, fill, drainage, and the like, shall be considered a part of the term "erect."

the principal occupants who are domiciled together as a single housekeeping unit in a dwelling unit; or

2. A collective number of individuals domiciled together in one dwelling unit whose relationship is of a continuing, nontransient domestic character and who are cooking and living as a single nonprofit housekeeping unit. This definition shall not

Essential services means the erection, construction, alteration, or maintenance in any zoning district by public utilities or municipal departments or commissions of underground, surface, or overhead gas, electrical, steam, or water transmission or distribution systems, collection, communication supply or disposal systems, club, fraternity, sorority, association, halfway house, lodge, coterie, organization, group of students, or other individual whose domestic relationship is of a transitory or seasonal nature, is for an anticipated limited duration of a school term or during a period of rehabilitation or treatment, or is otherwise not

the above essential services equipment. Cellular telephone or communications towers shall not be considered essential services.

Farm means the use of land for cultivation or for the raising of livestock for commercial purposes, including greenhouses, nurseries and orchards, but not including intensive livestock operations, stone quarries, or gravel, dirt, or sand removal operations. buildings that are primarily enclosures or shelters of

Excavating means the removal of soil below the average grade of the surrounding land and/or road grade, whichever shall be highest, excepting structure or gate erected as a dividing structure, barrier or enclosure, and not part of a structure requiring a building permit.

Fence means any permanent fence, partition, wall,

Floor area, gross (GFA) means the sum of the gross horizontal area of the several floors of the building measured from the exterior faces of the exterior

buildings. The gross floor area of a building shall include the basement floor area only if more than one-half of the average basement height is above finish lot grade. (See basement.) Gross floor area shall not include attic space having headroom of seven feet or less, or interior balconies or mezzanines. Any space devoted to off-street parking or loading shall not be included in floor

above), breezeways, porches, or attached garages are not included.👉

Floor area, usable (UFA) means that area used for or intended to be used for the sale of merchandise or services, or for use to serve patrons, clients, or customers; or area used in a dwelling unit for living purposes. Floor area which is used or intended to be used principally for the storage or processing of

clearly an incidental and secondary use of the dwelling. Without limiting the foregoing, a single family residence used by an occupant of that residence to give instruction in a craft or fine art

Home occupation, class A means an occupation

considered a class A home occupation.

customarily conducted in a dwelling unit that is merchandise, for hallways, or for utilities shall be excluded from the computation of usable floor area.

Measurement of usable floor area shall be the sum of the horizontal areas of the several floors of the building measured from the interior faces of the exterior walls. 🏠

Home occupation, class B means a registered primary caregiver storing, growing and delivering marihuana to patients in compliance with the general rules of the Michigan Department of Community Health, the Michigan Medical Marihuana Act, initiated law of 2008, MCL

USABLE FLOOR AREA within the residence shall be

Gross

used in this code, unless specifically designated as

Usable

333.26421 (the "act") and the requirements of this chapter as an incidental and secondary use of a

Sales and Service Floor Area Floor Area

residential dwelling. The term home occupation as

a class B home occupation, shall mean a class A

home occupation.

T. Stor.

institution providing health services, primarily as an for inpatients and medical or surgical care of the sick or injured, including

©clearzoning Hospital means an

as laboratories, outpatient departments, training facilities, central service facilities and staff offices.

Frontage. See lot width.

FULL CUT-OFF LUMINAIRES shall mean a luminaire designed and installed where no light is emitted at or above a horizontal plane running through the

Hotel/motel means a building occupied or used

integral part of the institution, such related facilities

as a predominantly temporary abiding place by lowest point on the luminaire. 🍷

individuals or groups of individuals, with or without meals.

FULL CUT-OFF LUMINAIRES

Garage means an accessory building used primarily for the storage of self-propelled vehicles for the use of the occupants of a lot on which such building is located. The storage on any one lot of The foregoing definition shall not be construed to permit commercial vehicles exceeding a rated capacity of one ton.

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2-9

in this chapter, shall have the meanings ascribed to

them in this Section, except where the context

clearly indicates a different meaning:

28-2.4 DEFINITIONS: I-M

The following words, terms and phrases, when used

Industrial plants, manufacturing of fabricated products means the processing, assembly, partial assembly or disassembly of components, machinery and related component materials. Such operations may include forging, stamping, punch

Industrial plants means processing manufacturing, compounding, packaging, treating, or assembling materials or products from previously prepared materials including the following in the Light Industrial District:

1. Agricultural products, including but not limited to pressing, heat treating, plating, hammering or other similar processing activities, subject to the requirements of [Section 28-4.64](#).

Junk means, for the purpose of this chapter, miscellaneous solid waste, rubbish, scrap, debris, or reclaimable material located outside a fully enclosed building, including, but not limited to tires,

rendering or refining of fats or oils);

3. Electrical machinery, equipment and supplies, electronic components and accessories; 4. Engineering, measuring, optical, medical, scientific, photographic, and similar instruments and goods;

5. Textile mill products, including woven fabric, knit goods, dyeing and finishing, floor materials or siding which are no longer suitable for use or on land in which there is no active project).

products;

the street or highways of this state; or

4. Which is stored or parked on the premises of another without the consent of the owner or occupant of the property or is stored or parked on the property 48 hours after the consent of the owner or occupant of the property has been revoked.

9. Biological products, drugs, medicinal chemicals and pharmaceutical preparations;

10. Glass products;

11. Jewelry, silverware and plated ware, musical instruments and parts, toys, amusements, sporting, and athletic goods, pens, pencils, and other office and artist supplies and materials,

notions, signs and advertising displays; and

12. Pottery and figurines and other ceramic

Junk yard means and includes automobile wrecking

machinery or motor vehicles, rags, discarded clothing, bedding, floor coverings, waste paper, newspaper or magazines, scrap metal, scrap equipment, glass, discarded furniture, household appliances, garbage, and construction debris (including, but not limited to, lumber, bricks, blocks, plumbing or

heating materials, concrete, cement, electrical

products;

6. Apparel and other finished products including clothing, leather goods, and canvas products; 7. Lumber and wood products including mill work, prefabricated structural work products and containers;

8. Paper and paperboard containers and

1. Is not currently registered for use upon the highways of this state; or

2. Does not display a current, valid license plate; or

3. Is by reason of dismantling or disrepair is incapable of being propelled under its own power or is otherwise not lawfully operable on

products using only previously pulverized clay.

yards and salvage areas and includes any area of more than 200 square feet for the storage, sale, processing, keeping or abandonment of junk, including scrap metals, other scrap materials or reclaimed materials, or for the dismantling, demolition, or abandonment of automobiles or other vehicles or machinery or parts thereof for

profit, but does not include uses established

entirely within enclosed buildings.

Amended through 3/4/2018

Kennel, commercial means any building and/or land used, designed or arranged for the commercial sale, boarding, breeding, care or treatment of three or more dogs, cats or other domestic animals for profit.

front lines of a through lot. 📌

Lot, depth means the mean horizontal distance

Lot, double frontage (through) means a lot other

from the front lot line to the rear lot line, or the two

Kennel, private means any building and/or land used, designed or arranged for the boarding, breeding or care of dogs, cats or other domestic animals belonging to the owner thereof and kept for purposes of sale provided that no more than three such animals, on a street. 📌
six months of age or older are kept on the premises either permanently or temporarily. The keeping of such animals shall be strictly incidental to the principal use of the premises.

than a corner lot having frontage on two more or less parallel streets. 📌

1. Front lot line. In the case of an interior lot,

Landmark tree means any living tree of stature standing alone in the open; or any living woodlot tree which stands obviously apart from its neighbors by size, form, or species. Living trees equal to or greater than 36 inches in diameter will be considered a landmark tree regardless of location or type.

such lot from such street right-of-way.

abutting upon one public or private street, the

2. Rear lot line. Ordinarily, that lot line which is opposite and most distant from the front lot line of the lot. In the case of an irregular or

front lot line shall mean the line separating

of location or type.

space on the triangular-shaped lot, a line at least ten

feet in length entirely within the lot parallel to and at

Loading space means an off-street

same lot with a building or group of buildings, for temporary parking for a commercial vehicle while loading or unloading merchandise or materials. Off street loading space is not to be included as off street parking space in computation of required off street parking.

for the purpose of determining depth of the

rear yard. In cases where none of these

the maximum distance from the front lot line of

definitions are applicable, the zoning administrator shall designate the rear lot line.

the lot shall be considered to be the real lot line

3. Side lot line. Any lot line not a front lot line or a

intended for

lot from another lot or lots is an interior side lot line.

Lot means a parcel of land occupied or rear lot line. A side lot line separating a

the right-of-way of a street or an alley.

occupancy by a use permitted in this chapter, including one main building with its accessory buildings, and providing the open spaces, parking spaces, and loading spaces required by this chapter. The word "lot" shall include plot or parcel. A lot need not be a "lot of record." A lot may also

Lot of record means a lot which actually exists in a subdivision plat as shown on the records of the

4. Street lot line. A lot line separating the lot from

mean a portion of a condominium project, as regulated by Public Act 59 of 1978, as amended, designed and intended for separate or limited

county register of deeds, or a lot or parcel described by metes and bounds, the description of which has

ownership and/or use.

Lot area means the total horizontal area within the lot lines of a lot excluding road right-of-way.

been so recorded as required by law.

Lot, waterfront means a lot having frontage directly upon a lake, river or other naturally formed impoundment of water that meets the minimum lot width requirements of the district in which it is

Lot, corner means a lot located at the intersection of two streets or a lot bounded on two sides by a curving street, any two chords of which form an angle of 135 degrees or less. 🍌

located. between the side lot lines, measured at the front yard setback line. 🍌

Lot coverage means the part or percent of the lot occupied by buildings or structures, including accessory buildings or structures.

Lot width (frontage) means the horizontal distance

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2-11

LOT LINES, WIDTH, DEPTH

LOTS: CORNER, DOUBLE FRONTAGE, INTERIOR

Rear lot line

Interior lot

Corner lot

Corner lot

Lot width

Min. front setback

Front lot line

⋮

Less than 135° Less than 135°

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**LOT LINES, WIDTH,
DEPTH LOTS POINTED AT
THE REAR CORNER LOT - LOT LINES**

⋮

Side lot line

Rear lot line *10' long*

⋮

⋮

⋮

Lot width

Min. front

Front lot line
Min. front setback

setback

Street / Front lot line

2-12

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Luminaire shall mean the complete lighting unit (fixture), consisting of a lamp, or lamps and ballast (s) (when applicable), together with the parts designed to distribute the light (reflector, lens, diffuser), to position and protect the lamps, and to connect the lamps to the power supply.

Motor home means a motorized vehicular unit primarily designed for temporary dwelling in connection with travel and/or recreational usage.

This term does not include manufactured homes. or "modular home."

Manufactured home means a residential building, dwelling unit, dwelling room, or a building component which is designed for long-term occupancy as a dwelling unit or portion of a dwelling unit, and is wholly or substantially constructed at an off-site location, transported to a site and erected. The term includes the terms "mobile home"

Manufactured home park means a parcel or tract of

land under the control of a person upon which two

or more manufactured homes are located on a

continual, nonrecreational basis and which is offered to the public for that purpose regardless of whether a charge is made therefore, together with any building, structure, enclosure, street, equipment, or facility used or intended for use incident to the occupancy of a manufactured home.

Manufactured home space means a plot of ground within a manufactured home park designed for the placement of one manufactured home.

Master plan means the plan currently adopted by the township, including graphic and written materials, indicating the general location for streets, parks, schools, public buildings, and all physical development of the township, and includes any unit or part of such plan and any amendment to such plan, adopted in accordance with the requirements of Public Act No. 33 of 2008 (MCL 125.3801 et seq.).

Medical marihuana dispensary means a

dispensary, collective, cooperative or grow house

where one or more primary caregivers are growing

medical marihuana in the same non-residential

building, structure or lot, storing medical marihuana

in the same non-residential building, structure or

lot, or providing patients with medical marihuana out of the same non-residential building, structure

or lot.

Motel means a series of attached, semi-attached,
or detached rental units providing overnight lodging
for transients, open to the traveling public for
compensation.

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3/4/2018

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2-13

and phrases, when used in this chapter, shall have the meanings ascribed to them in this Section, except where the context

uses operated substantially in the open air, including, but not limited to:

1. Sale, repair, rental or storage of bicycles, utility

28-2.5 DEFINITIONS: N-R

The following words, terms

Open air business means

not conform to the provisions of the ordinance from which this chapter trucks or trailers, motor vehicles, boats, or home equipment.

is derived in the zoning district in which it is located. 🍌

2. Outdoor display and sale of garages, motor homes, manufactured homes, snowmobiles, farm implements, swimming pools, and similar activities.

NONCONFORMING BUILDING fertilizer, trellises, lawn furniture, playground equipment, and other home garden supplies and equipment.

3. Retail sale of trees, fruits, vegetables, shrubbery, plants, seeds, topsoil, humus,

4. Tennis courts, shuffleboard, horseshoe courts, archery ranges, miniature golf, golf driving ranges, children's amusement park or similar recreation uses (transient or permanent).

clearly indicates a different meaning:

Nonconforming building or structure means a building or structure, or portion thereof, lawfully existing at the effective date of the ordinance from which this chapter is derived or amendments thereto, and which does

building envelope, excluding easements for public or private streets.

Nonconforming lots of record means a legally recorded lot that conformed with all township zoning requirements at the time of recording of said lot, which no longer conforms to the zoning regulations

Ordinary high-water mark means the line between upland and bottomland which persists through successive changes in water levels, below which

and requirements for lot area, lot width, or both.

the presence and action of the water is so common or recurrent that the character of the land is

Open space means any lands outside a

not conform to the use regulations of the zoning district in which it is located. 🙅

configuration of the surface of the soil and the vegetation. Where the water levels vary for purposes of water level management, the ordinary high-water mark shall be the higher of the levels generally present.

Nonconforming use means a use which lawfully occupied a building or land at the effective date of this chapter or amendments thereof, and that does

NONCONFORMING USE
marked distinctly from the upland and is apparent in the soil itself, the

humans or domestic animals.

Parking lot means a facility providing vehicular parking spaces with adequate drives, aisles, and maneuvering space to allow unrestricted ingress

Nonresidential district means the B-1 local business district, the B-2 business district, and the LI light industrial district.

Outdoor boiler means a boiler, stove or furnace that is not located within a building intended for habitation by

and egress to at least two vehicles. long-term care, and similar facilities means a facility for the care of the aged or infirm, or a place of rest for those suffering bodily disorders, wherein persons are provided care for compensation. Said home shall conform to, and qualify for, license under applicable state law.

Parking space means an off-street space of at least 162 square feet exclusive, of necessary driveways, aisles, or maneuvering areas, suitable to accommodate one motor vehicle and having direct unobstructed access to a street or alley.

Nursing home, including assisted living,

2-14

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Personal service establishments means any commercial business conducting services that are performed primarily on the premises, such as barber shops, beauty and nail salons, day spas, shoe repair, tailoring and dry cleaning, fitness centers, travel agencies, and similar uses.

for recreational or leisure pursuits. Such vehicles

shall include boats, airplanes, special purpose

automobiles, floats, rafts, trailers, snowmobiles,

camping or travel trailers, motorized homes,

Recreation vehicle or equipment means vehicles or equipment intended for temporary or periodic use

Planned unit development means a development of land that is planned and developed as a whole in a single development operation or programmed series of development stages. The development may include streets, circulation ways, utilities, buildings, open spaces, and other site features and improvements.

Porch, enclosed means a covered entrance to a detachable travel equipment of the type adaptable to light trucks, and other equipment or vehicles of a similar nature.

refer to the AP Agricultural Preservation district, AG Agricultural district, RR Rural Residential district, R-1 Single family Residential district, R-2 Two-family Residential district, R-3 Multiple-family Residential district, VSC Village Service Center district, and

Residential district means and shall

building or structure which is totally enclosed, and projects out from the main wall of said building or structure and has a separate roof or an integral roof with the main building or structure to which it is attached.

MHP Manufactured Home Park district, as

described in this chapter.

Porch, open means a covered entrance unenclosed except for stand is located. to a building or structure which is columns supporting the porch roof, and projects out from the main wall of said building or structure and has a separate roof or an integral roof with the main building or structure to which it is attached.

Primary caregiver means a primary caregiver with a

Rural planned unit development (RPUD) means any

registry identification card as defined by the RPUD. Michigan Medical Marihuana Act, MCL 333.26421

et seq.

Public utility means any person, firm, corporation,

municipal department, board, or commission duly

authorized to furnish, under federal, state or municipal regulations, to the public, electricity, gas, steam, communications, transportation, sanitary

sewer or water treatment services.

Public water supply means a central or community

facility which provides potable water to users. This

facility includes the necessary wells, pipes, pumps,

treatment works, monitoring gauges and

administrative offices necessary to protect the public health. This facility is operated by and maintained by a

Roadside stand means a farm building or separate structure used for the display or sale of agricultural products grown on the premises upon which the

development of two or more single-family dwelling

units meeting the qualifications of a RPUD as

stated in [Section 28-4.19](#). A rural planned unit

development site shall be composed of all lots or parcels included as part of the application for the

public utility authority.

2-15

28-2.6 DEFINITIONS: S

The following words, terms and phrases, when used

in this chapter, shall have the meanings ascribed to

them in this Section, except where the context

Signs.

1. Awning means a retractable or fixed shelter constructed of nonrigid materials on a supporting framework that projects from the

Salvage yard means an open space where waste, surplus, discarded, or salvaged materials are brought, sold, exchanged, stored, baled, cleaned, packed, disassembled, or handled, including house wrecking and structural steel materials and equipment and automobile wrecking. exterior wall of a building.

2. Awning sign means a sign affixed flat against the surface of an awning. 🍷

3. Balloon sign means a sign composed of a nonporous bag of material filled with air.

apparatus capable of receiving communications

4. Banner sign means a fabric, plastic, or other

from a transmitter or a transmitter relay located in planetary orbit.

Sensitive lands means lands classified for purposes of preserving lands from development that contain a minimum contiguous area of two acres and which contain significant natural features or farmland in

sign made of nonrigid material without an enclosing structural framework.

5. Billboard means an off-premises sign which advertises an establishment, product, service, or activity not available on the premises on which the sign is located.

6. Canopy means a freestanding roof-like

Sanitary sewer service means "Available Public Sanitary Sewer System" as defined by Section 26- 80 of the Watertown Charter Township Code.

clearly indicates a different meaning: active production.

Satellite dish antenna or dish antenna means an

structure built on one or more offer protection from the support posts, designed to weather.

Setback or setback area means the minimum required horizontal distance measured from the front, side, or rear lot line, as the case may be,

which describes an area termed the required

setback on a lot or parcel.(See building

7. Canopy sign means a sign painted or attached directly to and parallel to the exterior face of a canopy roof and extending no greater than 12

setback graphic) 🍷

Significant natural feature means any natural area

inches from the exterior face of the canopy to which it is attached.

8. Construction sign means a sign which identifies the owners, financiers, contractors, architects, and engineers of a project under construction.

as designated by the planning commission, township board, or the state department of natural resources, or other appropriate governmental agency which exhibits unique

topographic, ecological, hydrological, or historical characteristics such as a wetland, floodplain, water features, landmark trees, or other unique natural features.

2-16

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9. Directional sign means a sign which gives directions, instructions, or facility information for use on the lot on which the sign is located, such as parking or exit and entrance signs. 🗑️

15. Off-premises sign means a sign which relates to or advertises an establishment, product,

merchandise, good, service or entertainment

which is not located, sold, offered, produced,

manufactured or furnished on the property

which the sign is located.

16. On-premises sign means any sign which pertains solely to the use of the property on which it is located, such as to an establishment, product, merchandise, goods, service or entertainment which is located, sold, offered,

produced, manufactured or furnished at the property on which the sign is located.

17. Placard means a sign not exceeding two square feet which provides notices of a public nature, such as "No Trespassing" or "No Hunting"

signs.

18. Political sign means a temporary sign used in connection with a noncommercial message or an official township, school district, county, state, or federal election or referendum.

19. Portable sign means a sign designed to be moved easily and not permanently attached to

10. Freestanding sign means a sign supported on poles not attached to a building or wall. the ground, a structure, or a building. faced sign

20. Projecting sign means a double-

11. Government sign means a temporary or permanent sign erected by Watertown Charter Township, Clinton County, or the state or federal government.

from the face of the building or wall. 🏠

12. Ground sign means a sign resting directly on the ground or supported by short poles not attached to a building or wall that extends more than 18 inches but not more than 36 inches

attached to a building or wall. 🏠

13. Incidental sign means a sign that identifies the street address, entrances and exits, safety precautions, identifying logos without text, and

Reader board means a portion of a sign on

21.

other such incidental information, and which sets forth no other advertisement intended to be read from the

which copy is changed manually. 22. Real estate sign means a sign advertising the

real estate upon which the sign is located as being for sale, rent, or lease.

street.

14. Mural means a design or representation painted or drawn on a wall which does not advertise an establishment, product, service, or activity.

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2-17

23. Roof line means the top edge of a roof or parapet wall, whichever is higher, but excluding any cupolas, chimneys, or other minor projections.

2. Each site condominium unit may also have an appurtenant limited common element reserved for the exclusive use of the owner of the condominium unit.

24. Roof sign means a sign erected above the roof line of a building.

25. Secondary freestanding sign means a freestanding sign permitted for a property which has a minimum lot width for the district in which the lot is located abutting a limited access highway (I-96, I-69).

26. Sign means a device, structure, fixture, or

3. Either the condominium unit by itself or the condominium unit taken together with contiguous, appurtenant limited common elements, shall be considered to constitute a building site which is the equivalent of a "lot" for purposes of determining compliance with the requirements of the zoning ordinance and other applicable laws, ordinances and regulations.

placard using graphics, symbols, and/or written copy designed specifically for the purpose of

advertising or identifying an establishment, product, service, or activity.

27. Special event sign means temporary and portable signs containing public messages concerning special events sponsored by

4. Site condominium projects may also include general common elements consisting of common open space, recreational areas, streets, and other areas available for use by all owners of condominium units within the project.

governmental agencies or nonprofit organizations.

5. Subject to the district zoning provision applicable to the project's location, any land use permitted by the Watertown Charter

28. Temporary sign means a sign not permanently attached to the ground, a structure, or a building. Temporary signs may include banners, portable

signs, and any other sign displayed for a limited period of time.

29. Wall sign means a sign painted or attached

Township Zoning Ordinance may be permitted in a site condominium project.

Solar energy system means a utility-scale commercial facility that converts sunlight to electricity, whether by photovoltaics, directly to and parallel to the exterior wall of a

building extending no greater than 18 inches which it is attached. 🙌

inches

concentrating solar thermal devices or any other

from the exterior face of the wall to

30. Window sign means a sign installed inside a window and intended to be viewed from the outside. 🙌

various and similar solar technologies, and including solar collectors, controls, energy storage devices, heat pumps, heat exchangers, and other materials, hardware, or equipment necessary to the process by which solar radiation is collected, converted into another form of energy, stored, protected from unnecessary dissipation and distributed for the

primary purpose of wholesale or retail sales of

generated electricity onsite.

Solar energy systems do not include small-scale solar panels or technologies installed at individual residences or commercial locations (e.g. roof- or ground-mounted panels) that are used exclusively for private purposes and not

Site condominiums.

utilized for any commercial resale of any energy, except for the sale of surplus electrical energy

building or other improvements may be constructed by the condominium lot owner.

back to the electrical grid. These installations are regulated as

1. Site condominium projects are condominium developments in which each condominium unit consists of an area of vacant land and a volume of vacant air space within which a

2-18

State licensed residential facility means a residential care family or group facility licensed by the state under Public Act No. 218 of 1979 (MCL 400.701 et seq.), or Public Act No. 116 of 1973 (MCL 722.111 et seq.), which provides resident care services under 24-hour supervision or care for

STORY and HALF

persons in need of that supervision or care. This term does not include such facilities licensed by the state for care and treatment of persons released from or assigned to adult correctional institutions.

1. A family home facility includes a state licensed residential facility providing resident services to six or fewer persons.

2. A group home facility includes a state licensed residential facility providing resident services to more than six persons.

2nd story 1st story Basement

Story means that portion of a building, other than a basement or mezzanine, included between the surface of any floor and the floor next above it, or if there is no floor above it, then the space between ^{1/2 the floor area of a full story.}

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basement or cellar shall be counted as location on the ground or attachment a story only if over 50 percent of its ^{* Must contain 200 sq ft min. and not exceed} to something on the ground.

the floor and the ceiling next above it. For the purpose of this chapter, a height is above the average grade from which the height of the building is measured, or, if it is used for business purposes. Structure means anything constructed or erected, the use of which requires

Substantial improvement.

Story, half means that part of a building between a pitched roof and the uppermost full story, said part

1. Any repair, reconstruction or improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure

having a floor area which does not exceed one-half the floor area of said full story, provided the area either before improvement or repair is started, or if the structure has been contains at least 200 square feet and which contains a clear height of at least seven feet, at its highest point.

improvement" is considered to occur when the first alteration of any wall, ceiling, floor, or other structural part of the building commences, whether or not that alteration affects the external dimensions of the structure.

Street, private shall mean a road or street serving more than three parcels in existence on the being restored, before the damage occurred.

For the purposes of this definition, "substantial effective date of this ordinance under private ownership which has been constructed for the purpose of providing vehicular access to adjoining property which has not been accepted as a public road by the county road commission or the state

2. The term does not, however, include a structure to either any project for improvement of department of transportation. This definition shall not include a private driveway, as defined.

comply with existing state or local health, sanitary or safety code specifications which are solely necessary to ensure safe living

conditions, or any alteration of a structure state department of transportation including any rights-of-way and traveled surfaces which afford traffic circulation and principal means of access to abutting property, including avenue, place, way, drive, lane, boulevard, highway, road, and other thoroughfare; except an alley.

listed on the national register of historic places

or the state register of historic places.

Street, public means a public thoroughfare under the jurisdiction of the county road commission or



Amended through 1/2/2017

Watertown Township Zoning Ordinance 2-19

feet in width or 35 feet in length. It includes folding campers and truck mounted campers.

to include a nonprofit organization operating a community center, swimming pool, tennis court, or other educational, cultural, recreational, and athletic facilities for the welfare of the residents of the area. A massage is defined as a method of treating the external parts of the human body by rubbing, stroking,

Temporary building or use means a structure or use permitted by the zoning administrator to exist during periods of construction of the main building or for special events as permitted by this chapter.

Unconstrained lands means lands which are not kneading, tapping or vibrating with the hand or any instrument.

28-2.7 DEFINITIONS: T-Z

The following words, terms and phrases, when used

in this chapter, shall have the meanings ascribed to

them in this Section, except where the context

clearly indicates a different meaning:

4. Massage establishment. Any establishment having a fixed place of business where massages are administered for pay, including but not limited to massage parlors, health clubs, sauna baths, and steam baths. This

definition shall not be construed to include a hospital, nursing home, medical clinic, or the office of a physician, surgeon, chiropractor, osteopath, or physical therapist duly licensed by the state, nor barber shops or beauty salons in which massages are administered only to the scalp, the face, the neck, the feet, or the shoulder. This definition shall not be construed

classified as sensitive lands.

Use, principal means the primary purpose for which land or premises, or a building thereon, is designed, arranged, or intended, for which it is occupied, or maintained, let, or leased.

Travel trailer means a vehicular, portable unit built on a chassis designed to be used as a temporary dwelling for travel and recreational purposes, not exceeding eight

5. Nude artist and photography studio. Any building, structure, premises or part thereof used solely or primarily as a place which

offers as its principal activity the providing of models to display "specified anatomical areas" as defined herein for artists and photographers for a fee or charge.

Uses, adult means and shall include adult book

6. Specified anatomical areas. Specified anatomical areas are defined as less than stores, adult cabarets, adult motion picture theaters, massage establishments, and nude artist and photography studios. These terms shall have the following indicated meanings:

completely and opaquely covered:

A. Human genitals, pubic region, buttock, and

1. Adult book store. An establishment having as a

substantial or significant portion of its stock in

trade, books, magazines, and other periodicals

patrons therein.

which are distinguished or characterized by female breast below a point immediately above the top of the areola; and

B. Human male genitals in a discernible turgid state, even if completely and opaquely covered.

their emphasis on matter depicting, describing or relating to "specified sexual activities" or "specified anatomical areas", as defined herein, or an establishment with a segment or section devoted to the sale or display of such material.

2. Adult cabaret. An establishment including, but not limited to, a cafe, restaurant or bar which

7. Specified sexual activities.

A. Human genitals in a state of sexual stimulation or arousal;

B. Acts of human masturbation, sexual intercourse or sodomy;

vehicle rust-proofing;

refinishing or steam cleaning.

C. Fondling or other erotic touching of human

features go-go dancers, erotic dancers,

strippers, male or female impersonators, or genitals, pubic region, buttock or female breast.

similar entertainers.

3. Adult motion picture theater. An establishment used for presenting material distinguished or characterized by an emphasis on matter depicting, describing, or relating to "specified sexual activities" or "specified anatomical areas," as defined herein, for observation by

Vehicle repair means any major activity involving the general repair, rebuilding or reconditioning of motor vehicles, engines, or trailers; collision services, such as body, frame, or fender straightening and repair; overall painting and

2-20

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Vehicle service station means a building and lot or parcel designed or used for the retail sale of fuel, lubricants, air, water or other operating commodities for motor vehicles (including trucks, aircraft and boats) and including the customary space and facilities for the installation of such

Yard means an open space on the same land with a

building or group of buildings, which open space

commodities on or in such vehicles and including space for storage, handwashing, minor repair, and servicing, but not including vehicle repair as defined in this chapter.

Vehicle wash establishment means a building, or portion thereof, the primary purpose of which is that of washing motor vehicles.

lies between the building or group of buildings and

the nearest lot line and is unoccupied and

unobstructed from the ground upward, except as

otherwise provided herein. 🍌

lot, the uniform depth of which is measured at right angles to the rear lot line.

Wind energy conversion system (WECS) means any

1. A front yard is an open space extending the full width of the lot, the uniform depth of which is measured at right angles to the front lot line.

2. A rear yard is an open space extending across the full width of the

3. A side yard is an open space of uniform width between a main building and the side lot lines, extending from the front yard area to the rear

system or assembly that contains any or all of the following characteristics:

measured horizontally from and at right angles to the nearest point of the side lot line.

- 1. A windmill, turbine or any similar machine designed to be operated by the wind for the purpose of mechanical or electrical power generation;

yard area. The width of the side yard shall be

REQUIRED YARD

fixed, for utilizing the wind for electrical or mechanical

Required Rear Yard

- 2. A surface area, either variable or power;

- 3. A shaft, gearing, belt, or coupling utilized to

convey the rotation of the surface areas turned electricity producing device;

by the wind into a form suitable for driving a

generator, alternator, or other mechanical or Building Envelope

- 4. A generator, alternator, or other device utilized

to convert the mechanical energy generated by

the wind into electrical energy;

structure upon which any, all, or some combination of the above are mounted.

Front of building Required Front Yard

- 5. A tower, pylon, or other

energy conversion system consisting of wind

Wind energy conversion system, small means a wind turbines, towers, and associated control or conversion electronics, which is primarily intended to reduce or replace the on-site consumption of utility power. Wholesale business means

the following in the light

industrial district: automotive equipment, drugs, electrical goods, hardware, machinery, equipment, metals, paper products, and lumber.

chemicals, dry goods, apparel, food, farm products,

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2-21

YARDS: FRONT, REAR, SIDE

Yard, required means, as set forth in the applicable chapters of the township zoning ordinance, the minimum yard requirement for each zoning district.



Rear yard

Side yard

Side yard

Front yard

Zoning Act means the Michigan Zoning Enabling Act, Public Act No. 110 of 2006 (MCL 125.3101 et seq.).

Zoning administrator means the person designated by the township board to administer the provisions of this chapter.

Article
3.0
Zoning

Districts

Article 3.0 Zoning Districts 28-3.1

Districts Established

28-3.2 The Zoning Map

28-3.3 Conflicts with Zoning District
Boundaries

28-3.4 Zoning of Vacated Areas

28-3.5 Zoning of Filled Land

28-3.6 Zoning District Changes

28-3.7 Prohibited Uses, Generally 28-3.8

AP Agricultural Preservation District

Regulations

28-3.9 MHP Manufactured Home Park
Regulations

28-3.10 B-1, B-2, and LI District Regulations

28-3.11 Building and Structure Height
Exceptions

3.0 Zoning Districts

28-3.1 DISTRICTS ESTABLISHED

In order to more effectively protect and promote the general welfare and accomplish the aims and objectives of the township

master plan, the township is divided into zoning districts of such number, boundaries, shape, and area that are deemed most suitable to provide for the best development



Digital User Note: Click on a district heading to go directly to the corresponding

of the community, while protecting the common rights and interests of all through associated regulations and restrictions. For the purposes of this chapter, the township is hereby divided into the following zoning districts

AG Agricultural District

RR Rural Residential District
district regulations.

R-1 Single-Family Residential District

R-2 Two-Family Residential District

R-3 Multiple-Family District

VSC Village Service Center District

B-1 Local Business District

B-2 Business District

District

F-1 Floodplain

LGR Looking Glass River Overlay District

GR Grand River Avenue Overlay District

3-3

This district is intended to ensure that large tracts of land well-suited for the production of food and fiber are

A. INTENT

retained for such purposes, and many of the problems often associated with scattered residential uses in agricultural areas that would hinder farm operations and deplete farmland resources are lessened. To this end, the preservation of large tracts of land for farming, or those which are idle, is necessary. This district is not intended for any use except agricultural and associated agricultural and other specialized rural uses requiring large tracts of land.






The purpose of this district is to guard the agricultural lands and open spaces of the township from loss due to pressures from development. In doing so, conflicts between homes and agricultural activities will be prevented, land lost for nonagricultural uses will be minimized, long-term investment in agricultural reduced, important aesthetic and scenic qualities will be maintained, rural character will be preserved, and the cost of providing public services will be affordable to the community.

? User Note: For uses listed in **bold blue**, refer to Article 4, or click on use, for use-specific standards

production will be possible, land speculation will be

PERMITTED USES
USES
C. SPECIAL LAND

B. PRINCIPAL

- i. Farms  §4.1
- ii. Retail sales of produce grown on the premises  §4.2
- iii. Farm equipment sales, service
- iv. Single-family dwellings  §4.3
- i. Farm labor housing §4.9
- ii. Greenhouses and nurseries  §4.5
- iii. Airports and landing strips (private)  §4.11
- iv. Commercial riding stables
- v. Removal and processing of topsoil, stone,

v. Home occupations  §4.4 vi. §4.5

Greenhouses and nurseries rock, sand, gravel, lime or other soil or mineral resources §4.12

§4.63 viii. Family day care home

ix. Group day care homes

x. State licensed residential family home facility xi. Public utility or service buildings, not requiring

vii. Bed and breakfast establishments

outdoor storage or materials

materials

x. Public and private

xii. Commercial storage and sales of products essential to agricultural production

xiii. Accessory buildings

xiv. Small wind energy conversion systems

xi. Cemeteries

xiv. Athletic grounds and parks

vi. Commercial kennels or veterinary services

vii. Towers in excess of 50 feet

viii. Radio and television transmitting buildings and towers

ix. Churches

schools

xii. Landscaping, lawn service, snowplowing (including other closely related operations)

xiii. Rural planned unit development (RPUD)

3-4

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acres*

D. DEVELOPMENT STANDARDS

Lot Size

Maximum lot area: 2

Residential Building

Minimum lot width: 150 ft

setback: 50 ft
Minimum side yard setback:

Lot Coverage

Maximum lot coverage: 10 percent

Residential buildings 30 ft
Nonresidential buildings 40 ft

Setbacks

Minimum front yard setback: 50 ft

Minimum rear yard

30' Min.

50' Min.

30'
Min.

Building Envelope

Accessory building setback:

Drip edge from side and

rear lot lines 5 ft

From main building 10 ft

Building Height

Maximum building height: 35 ft or 2.5 stories, whichever is higher**

150' Min.

50' Min.

Floor Area

Minimum floor area per dwelling:

**Total floor area 960 sq ft
UFA Ground floor area 600 sq ft UFA**

R/W C L

Front Lot Line

****Farm buildings and structures shall be permitted at their usual and customary heights.**

***unless a larger lot is required by the Mid-Michigan Health Department**

35 ft or 2.5

stories whichever is higher

SELECTED REFERENCES

3. Zoning Districts

- **Prohibited Uses** §3.7
- **Agricultural District Regulations** §3.8
- **Building and Structure Height** §5.11

Exceptions §3.11
§5.12

4. Use Standards

- **Outdoor Boilers** §4.60
- **Keeping of Animals** §4.61
- **Temporary Buildings and Uses** §4.62

5. Site Standards

- **Fences** §5.9
- **Swimming Pools** §5.10
- **Satellite Dish Antennas** §5.11
- **Storage of Recreation Equipment**

- **Storage and Repair of Vehicles** §5.13

- **Prohibited Dwellings** §5.14
- **Outdoor Lighting** §5.18
- **Earth Changes** §5.20
- **Signs** §5.21
- **Accessory Buildings, Structures, and Uses** §5.24

The above drawings are not to scale.

6. Development

- **Procedures**
- **Site Plan Review** §6.1
- **Special Land Uses** §6.2
- **Condominiums** §6.3

- **Special Land Uses Permits** §6.4

7. Admin and Enforcement

- **Filling of Land** §5.26
- **Permits** §7.2
- **Nonconforming Lots...** §7.7

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3-5

Agricultural District

A. INTENT

28-3.1.3

AG

This district is intended to minimize conflicts between homes and agricultural activities, ensure that long term investment in agricultural production will be possible, land speculation will be managed, important aesthetic and scenic qualities will be maintained, rural character will be preserved, and the cost of providing public services will be affordable to the community.



User Note: For uses listed in **bold blue**, refer to Article 4, or click on use, for use-specific standards

B. PRINCIPAL PERMITTED USES

i. **Farms** §4.1

ii. **Retail sales of produce grown on the premises** §4.2

iii. **Single-family dwellings** §4.3

C. SPECIAL LAND USES

i. **Farm labor housing** §4.9

ii. **Farm equipment sales and service** §4.21

iii. **Commercial storage and sale of products essential to agricultural production** §4.22

iv. **Home occupations** §4.4 v.

Greenhouses and nurseries §4.5

iv. **Rural planned unit**

development (RPUD) §4.19

- vi. Kennels §4.6
- vii. Bed and breakfast establishments §4.63
- viii. Family day care homes §4.5
- ix. Group day care homes §4.5
- v. Greenhouses and nurseries §4.5
- vi. Airports and landing strips (private) §4.16
- xiv. Public and private schools §4.16

- §4.11 vii. Country clubs and golf courses §4.24
- viii. Removal and processing of topsoil, stone, rock, sand, gravel, lime or other soil or mineral resources §4.12
- x. State licensed residential family home facilities §4.12

- ix. Public or private campgrounds §4.25

- xi. Public utility or service buildings, not requiring outside storage or materials.
- xii. Accessory buildings §4.59
- xiii. Small wind energy conversion systems §4.59
- x. Commercial kennels or veterinary services §4.7
- xi. Towers in excess of 50 feet §4.13
- xii. Radio and television transmitting buildings and towers §4.14
- xiii. Churches §4.15

- xv. Cemeteries §4.17
- xvi. Commercial riding stables
- xvii. Landscaping, lawn service, snowplowing (including other closely related operations) §4.18
- xviii. Athletic grounds and parks §4.20

xix. Solar Energy Systems §4.65

3-6

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AG Agricultural

District 28-3.1.3

D. DEVELOPMENT STANDARDS

Lot Size
Minimum lot area: 1 acre

Residential Building

Minimum lot width: 150 ft


Lot Coverage

Maximum lot coverage: 10 percent

Setbacks

Minimum front yard setback: 50 ft
Minimum rear yard

setback: 50 ft
Minimum side yard
setback:
Residential
buildings 30 ft
Nonresidential
buildings 40 ft

30' Min.
Building Envelope 
50' Min.

30'
Min.

Accessory building setback:

Drip edge from side and

rear lot lines 5 ft

From main building 10 ft

Building Height 

Maximum building height: 35
ft or 2.5 stories, whichever
is higher*

150' Min.

50' Min.

Floor Area 

Minimum floor area per
dwelling 

Total floor area 960 sq ft
UFA Ground floor area 600
sq ft UFA

R/W C L

Front Lot Line

their usual and customary
heights.

*Farm buildings
and structures shall
be permitted at

35 ft or
2.5
stories
whichever
is higher

SELECTED REFERENCES

The above drawings are not to scale.

■ **Special Land Uses Permits** §6.4

3. Zoning Districts

■ **Prohibited Uses** §3.7 ■ Building and Structure Height Exceptions §3.11

5. Site Standards

■ **Fences** §5.9 ■ **Swimming Pools** §5.10 ■ **Satellite Dish Antennas** §5.11 ■ **Storage of Recreation Equipment**

6. Development

Procedures ■ **Site Plan Review** §6.1 ■ **Special Land Uses** §6.2 ■ **Condominiums** §6.3

4. Use Standards ■ **Outdoor**

Boilers §4.60

■ **Keeping of Animals** §4.61 ■ **Temporary Buildings and Uses** §4.62 ■ **Prohibited Dwellings** §5.14 ■ **Outdoor Lighting** §5.18 ■ **Earth Changes** §5.20 ■ **Signs** §5.21 ■ **Accessory Buildings, Structures, and Uses** §5.24 ■ **Filling of Land** §5.26

§5.12

■ **Storage and Repair of Vehicles**

§5.13

7. Admin and Enforcement

■ **Permits** §7.2 ■ **Nonconforming Lots...** §7.7

3-7

Residential I District

A. INTENT

28-3.1.4

RR Rural

This district is intended for residential and farm uses, including other uses generally associated with agriculture, and related nonresidential uses. The purpose of this district is to preserve the rural residential and agricultural character of the lands within this district, minimizing public service costs, limiting urban influence, and preserving a maximum of open space. Careful consideration is given to environmental

concerns related to groundwater quality and other related issues pertaining to development in rural areas with limited public services. All uses permitted within this district shall be conducted with due consideration for the potential effects which may result from authorized agricultural uses, in accordance with Public Act No. 93 of 1981 (MCL 286.471 et seq.), the state right to farm act.



User Note: For uses listed in bold blue, refer to Article 4, or click on use, for use-specific standards

B. PRINCIPAL PERMITTED USES

i. **Farms** [📄] §4.1

ii. **Single-family dwellings** [📄]

§4.3 iii. **Home occupations** §4.4

C. SPECIAL LAND USES

i. **Farm equipment sales and service** §4.21 ii. **Rural planned unit development (RPUD)** [📄]

§4.19

- iv. **Bed and breakfast establishments** §4.63
- v. **Family day care homes** §4.12
- vi. **Group day care homes** §4.25
- vii. **State licensed residential family home facilities** §4.7
- iii. **Country clubs and golf courses** §4.24
- iv. **Removal and processing of topsoil, stone, rock, sand, gravel, lime or other soil or mineral resources** §4.12
- v. **Public or private campgrounds** §4.25
- vi. **Commercial kennels or veterinary services** §4.7

viii. **Greenhouses and nurseries** §4.5

vii. **Towers in excess of 50 feet** §4.13

ix. **Kennels** §4.6

x. **Public utility or service buildings, not requiring outside storage or materials**

viii. **Radio and television transmitting buildings and towers** §4.14

ix. **Churches** §4.15

xi. **Accessory buildings** §4.16

xii. **Small wind energy conversion systems** §4.59

x. **Public and private schools** §4.16

xi. **Cemeteries** §4.17

xii. **Commercial riding stables**

xiii. **Landscaping, lawn service, snowplowing**

(including other closely related operations) §4.18

xiv. **Athletic grounds and parks** §4.20

xv. **Assembly buildings** §4.43

D. ACCESSORY USES

i. **Accessory to a farm**

a. **Roadside stands for the sale of produce grown on the premises**

3-8

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RR Rural Residential

District
28-3.1.4

E. DEVELOPMENT STANDARDS

Lot Size

Minimum lot area [Ⓜ]: 2 acres

Residential Building

Minimum lot width [Ⓜ]: 165 ft

Lot

Coverage

Maximum lot coverage: 10 percent

Building Envelope
50' Min.

Setbacks

Minimum front yard setback: 50 ft

Minimum rear yard setback: 50 ft

Minimum side yard setback: 30' Min.

Residential buildings 30 ft
Nonresidential buildings 40 ft

30' Min.

Accessory building setback:

Drip edge from side and

rear lot lines 5 ft

From main building 10 ft

Building Height

Maximum building height: 35 is higher*
ft or 2.5 stories, whichever

165' Min.
area 600 sq ft UFA

50' Min.

Floor Area

Minimum floor area per dwelling:

Total floor area 960 sq ft UFA Ground floor

Front Lot Line

C L

R/W

be permitted at their

35 ft or 2.5 stories whichever is higher

*Farm buildings and structures shall

usual and customary heights.

SELECTED REFERENCES

The above drawings are not to scale.

■ **Special Land Uses Permits** §6.4

3. Zoning Districts

■ **Prohibited Uses** §3.7 ■ Building and Structure Height Exceptions §3.11

5. Site Standards

■ **Fences** §5.9 ■ **Swimming Pools** §5.10 ■ **Satellite Dish Antennas** §5.11 ■ **Storage of Recreation Equipment** §5.12

6. Development

Procedures ■ **Site Plan Review** §6.1 ■ **Special Land Uses** §6.2 ■ **Condominiums** §6.3

4. Use Standards ■ **Outdoor**

Boilers §4.60

■ **Keeping of Animals** §4.61 ■ **Temporary Buildings and Uses** §4.62

■ **Prohibited Dwellings** §5.14 ■ **Outdoor Lighting** §5.18

■ **Storage and Repair of Vehicles**

§5.13

■ **Earth Changes** §5.20

■ **Signs** §5.21 ■ **Accessory Buildings, Structures, and Uses** §5.24

■ **Filling of Land** §5.26

7. Admin and Enforcement

■ **Permits** §7.2 ■ **Nonconforming Lots...** §7.7

3-9

28-3.1.5

R-1 Single- Residential Family District

This district is intended to provide for single-family residential uses, and related nonresidential uses. The

A. INTENT

purpose of this district is to act as a transitional area between residential and agricultural lands near this district, particularly with respect to the areas surrounding Wacousta Village. Careful consideration is given to environmental concerns related to groundwater quality and other related issues pertaining to development in residential areas with limited public services.



User Note: For uses listed in bold blue, refer to Article 4, or click on use, for use-specific standards

i. **Single-family dwellings** §4.3 ii.

Home occupations §4.4 iii. **Family**

day care homes iv. **Group day care homes**

C. SPECIAL LAND USES

ii. **Churches** §4.15

iii. **Public and private schools** §4.16 iv.

Bed and breakfast establishments §4.63

v. **State licensed residential family home**

v. **Commercial day cares** §4.10

B. PRINCIPAL PERMITTED USES

i. **Country clubs and golf courses** §4.24

facilities[ⓘ]

vi. Public utility or service buildings, not

x. Athletic grounds and parks §4.20

requiring outside storage or materials (RPUD) [ⓘ] §4.19

vii. Accessory buildings[ⓘ]

viii. Small wind energy conversion systems[ⓘ] §4.59

vi. Towers in excess of 50 feet §4.13

vii. Rural planned unit development

viii. Site condominiums[ⓘ]

/condominium subdivisions[ⓘ] §6.3

ix. Commercial riding stables

3-10

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Amended through 7/3/2016

R-1 Single-Family

Residential District 28-3.1.5

D. DEVELOPMENT STANDARDS

Lot Size
Minimum lot area[ⓘ]:

Residential Building with Public Sanitary Sewer

No public sanitary sewer
40,000 sq ft With public
sanitary sewer 20,000 sq ft

Minimum lot width[ⓘ]:
No public sanitary sewer
150 ft With public sanitary
sewer 100 ft

Lot Coverage[ⓘ]
Maximum lot coverage: 15
percent

Setbacks [☰] 10' Min.
Minimum front yard setback: 30 ft

10' Min.

40' Min.

Building Envelope [☰]
Nonresidential buildings 20 ft
Accessory building setback:
Drip edge from side and rear lot lines 5 ft 100' Min.

Minimum rear yard setback: 40 ft
Minimum side yard setback:
Residential buildings 10 ft

Maximum building height: 35 *R/W C L*
ft or 2.5 stories, whichever is higher*

From main building 10 ft

Front Lot Line

30' Min.

Building Height [☰]

Floor Area [☰]
Minimum floor area per dwelling [☰]:

floor area 600 sq ft UFA

Total floor area 960 sq ft UFA Ground
be permitted at their

35 ft or
2.5
stories
whichever is higher

*Farm buildings
and structures shall

usual and customary heights.

SELECTED REFERENCES

3. Zoning Districts
■ Prohibited Uses §3.7 ■

Building and Structure Height
Exceptions §3.11

5. Site Standards
■ Fences §5.9

■ Swimming Pools §5.10
■ Satellite Dish Antennas §5.11
■ Storage of Recreation Equipment
The above drawings are not to scale.

6. Development Procedures ■ Site Plan Review §6.1

- [Special Land Uses](#) §6.2
- [Condominiums](#) §6.3
- [Special Land Uses](#)

4. Use Standards

- [Temporary Buildings and Uses](#) §4.62
- [Prohibited Dwellings](#) §5.14
- [Outdoor Lighting](#) §5.18
- [Earth Changes](#) §5.20
- [Signs](#) §5.21
- [Accessory Buildings, Structures, and Uses](#) §5.24
- [Filling of Land](#) §5.26
- [Permits](#) §7.2
- [Keeping of Animals](#) §4.61 §5.13
- [Storage and Repair of Vehicles](#) §5.12
- [Nonconforming Lots...](#) §7.7

7. Admin and Enforcement

3-11

28-3.1.6

R-2 Two-Family Residential District

This district is intended to provide for two-family residential uses, and related nonresidential uses. The

A. INTENT

purpose of this district is to allow a density of housing opportunities with related development where public utilities are or may be made available.



User Note: For uses listed in **bold blue**, refer to Article 4, or click on use, for use-specific standards

B. PRINCIPAL PERMITTED USES

- i. [Single-family dwellings](#) ⓘ §4.3
- ii. [Public and private schools](#) §4.16
- iii. [Athletic grounds and parks](#) §4.20
- iv. [Bed and breakfast establishments](#) ⓘ §4.63
- v. [Group day care homes](#) ⓘ
- vi. [State licensed residential family home](#) ⓘ facilities §4.26
- vii. [Rural planned unit development \(RPUD\)](#) ⓘ §4.19
- viii. [Site condominiums](#) ⓘ /condominium subdivisions §6.3
- ix. [Small wind energy conversion systems](#) ⓘ §4.59

C. SPECIAL LAND USES

vi. State licensed residential family

ix. [Triplex](#) ⓘ or [quadruplex dwellings](#) ⓘ §4.23

3-12

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Amended through 9/3/2017

R-2 Two-Family

Residential District 28-3.1.6

D. DEVELOPMENT STANDARDS

Lot Size

Minimum lot area [Ⓜ]:

No public sanitary sewer
40,000 sq ft With public
sanitary sewer 20,000 sq ft
Minimum lot width [Ⓜ]:

No public sanitary sewer
150 ft With public sanitary
sewer 100 ft

10' Min.

Lot Coverage [Ⓜ]

Maximum lot coverage: 15
percent

Residential Building with Public
Sanitary Sewer

Setbacks [Ⓜ]

Minimum front yard setback:
30 ft

40' Min.

Building
Envelope

10'
Min.

Minimum rear yard setback: 40 ft

Minimum side yard setback:

Residential buildings 10 ft

Nonresidential buildings 20 ft

Accessory building setback:

Drip edge from side and
rear lot lines 5 ft From
main building 10 ft

100' Min.

Front Lot Line

Maximum building height: 35 *R/W C L*
ft or 2.5 stories, whichever
is higher

30' Min.

Building Height

Floor Area
Minimum floor area per
dwelling:

floor area 600 sq ft UFA

Total floor area 960 sq ft UFA Ground

stories
whichever is higher

35 ft or
2.5

REFERENCES

Building and Structure Height
Exceptions §3.11

SELECTED

■ 3. Zoning Districts
■ Prohibited Uses §3.7 ■

5. Site Standards

- Fences §5.9
 - Swimming Pools §5.10
 - Satellite Dish Antennas §5.11
 - Storage of Recreation Equipment
- The above drawings are not to*

4. Use Standards

- Temporary Buildings and Uses §4.62
- Prohibited Dwellings §5.14
- Outdoor Lighting §5.18
- Earth Changes §5.20
- Signs §5.21
- Accessory Buildings, Structures, and Uses §5.24
- Filling of Land §5.26
- Permits §7.2

scale.

6. Development

- **Procedures**
- Site Plan Review §6.1
- Special Land Uses §6.2
 - Keeping of Animals §4.61 §5.13
 - Storage and Repair of Vehicles §5.12
- Nonconforming Lots... §7.7

- Condominiums §6.3
- Special Land Uses Permits §6.4

7. Admin and Enforcement

3-13

Residential District

28-3.1.7

R-3 Multiple-Family

A. INTENT

This district is intended to provide for higher density, two- and multiple-family residential uses, and related nonresidential uses. The purpose of this district is to allow greater densities of residential and related development where public utilities shall be required.



User Note: For uses listed in bold blue, refer to Article 4, or click on use, for use-specific standards

B. PRINCIPAL PERMITTED USES

- i. Two-family dwellings [📄]
- ii. Home occupations [📄] §4.4 iii.
- Family day care homes [📄] iv. Group day care homes [📄]

C. SPECIAL LAND USES

- i. Multiple-family dwellings [📄] §4.41 facilities [📄]
- ii. Churches §4.15
- iii. Public and private schools §4.16
- iv. Athletic grounds and parks §4.20
- v. State licensed residential family home
- v. Bed and breakfast establishments [📄] §4.63
- vi. Public utility or service buildings, not requiring outside storage or materials
- vii. Accessory buildings [📄]
- viii. Small wind energy conversion systems [📄] §4.59
- vi. Commercial day cares [📄] §4.10
- vii. State licensed residential group home facilities [📄] §4.26
- viii. Rural planned unit development (RPUD) [📄] §4.19
- ix. Commercial planned unit development (CPUD)

☞ (no more than 50 percent of the underlying

parcel may be considered part of the CPUD) §4.32

x. **Nursing homes**☞ §4.27

3-14

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28-3.1.7

R-3 Multiple-Family Residential District

Two-family☞ 40,000 sq ft

D. DEVELOPMENT STANDARDS

Lot Size

Minimum lot area☞:

Two-family Building

setback:

Minimum lot width☞:

Two-family☞ 150 ft

Multiple-family☞ 250 ft

Lot Coverage☞

Maximum lot coverage:

25 percent

Setbacks☞

25' Min.

Minimum front yard setback: 30 ft
Minimum rear yard setback: 40 ft
Minimum side yard

25'
Min.

Building Envelope

40' Min.

Residential buildings 25 ft

Nonresidential buildings 30 ft

Accessory building setback:

Drip edge from side and

rear lot lines 5 ft

From main building 10 ft

Building Height

Maximum building height: 35 ft
or 2.5 stories,

150' Min.

30' Min.

whichever is higher

Floor Area

Minimum floor area per

dwelling:

Two-family

Total floor area 960 sq ft UFA

Ground floor area 600 sq ft UFA

Multiple-family

Front Lot Line

R/W C L

3 bedroom 1,000 sq ft

1 bedroom 720 sq ft 2 bedroom 850 sq ft

4 bedroom 1,200 sq ft

Permitted Density


Multiple-family maximum

dwelling units per acre 8

dwelling units Building Length

35 ft or
2.5
stories
whichever is higher

maximum building length: 120 ft

Multiple-family 

The above drawings are not to scale.

■ **Special Land Uses Permits** §6.4

SELECTED REFERENCES

3. Zoning Districts

- **Prohibited Uses** §3.7
- **Building and Structure Height Exceptions** §3.11

5. Site Standards

- **Fences** §5.9
- **Swimming Pools** §5.10
- **Satellite Dish Antennas** §5.11
- **Storage of Recreation Equipment**
- **Keeping of Animals** §4.61 §5.12 §5.13
- **Storage and Repair of Vehicles**
- **Signs** §5.21
- **Accessory Buildings, Structures, and Uses** §5.24
- **Filling of Land** §5.26
- **Permits** §7.2

6. Development

- **Procedures**
- **Site Plan Review** §6.1
- **Special Land Uses** §6.2
- **Condominiums** §6.3

4. Use Standards

- **Temporary Buildings and Uses** §4.62
- **Prohibited Dwellings** §5.14
- **Outdoor Lighting** §5.18
- **Earth Changes** §5.20

7. Admin and Enforcement

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3-15

28-3.1.8
VSC

Village Service Center District

This district is intended to provide for the wide mixture of land uses existing within the unincorporated area

A. INTENT

generally identified as Wacousta Village. These land uses will generally include higher density single-family uses, as well as smaller scale office, service, and commercial uses. The purpose of this district is to allow land uses to develop in a more town-oriented manner, yet maintain the rural village character of the area.

Large scale nonresidential activities are not desired.



User Note: For uses listed in bold blue, refer to Article 4, or click on use, for use-specific standards

B. PRINCIPAL PERMITTED USES

C. SPECIAL LAND USES

i. Single-family[§] and two-family dwellings[§] §4.3

ii. Home occupations[§] §4.4

iii. Family day care homes[§]

iv. Group day care homes[§]

iv. Public and private schools[§] §4.16

home facilities[§]

vi. Bed and breakfast establishments[§] §4.63

vii. Personal service

establishments[§] §4.29

viii. Office buildings[§] §4.31

ix. Public utility or service buildings, not requiring

v. State licensed residential family outside storage or materials

x. Accessory buildings[§]

ix. Rural planned unit development (RPUD)[§] §4.19

xi. Small wind energy conversion systems[§] §4.59

i. Retail businesses[§] §4.28

ii. Restaurants, not including drive-through facilities[§] §4.30

iii. Churches[§] §4.15

v. Commercial kennels[§] or veterinary services[§] §4.7

vi. Athletic grounds and parks[§] §4.20

vii. Commercial day cares[§] §4.10

viii. State licensed residential group home facilities[§] §4.26

VSC Village

Service Center District ^{28-3.1.8}

D. DEVELOPMENT STANDARDS

Lot

Lot Size

Minimum lot area [Ⓜ]:

Building Envelope [Ⓜ]

20' Min.

20' Min.

Nonresidential Building

20' Min.

Residential buildings 15,000

sq ft Nonresidential

buildings 20,000 sq ft

Minimum lot width [Ⓜ]:

Residential buildings 85 ft

Nonresidential buildings 100 Coverage [Ⓜ]

ft

Maximum lot coverage: 35 percent

Setbacks [Ⓜ]

Minimum front yard setback:

Residential buildings 20 ft

Nonresidential buildings 30 ft

Minimum rear yard setback: 20 ft

Minimum side yard setback:

Residential buildings 15 ft

Nonresidential buildings 20 ft

Accessory building setback:

Drip edge from side and rear lot lines 5 ft

100' Min.

Front Lot Line

30' Min.

From main building 10 ft

Maximum building height: 35 ft or 2.5 stories, whichever is higher

C R/W L

Building Height [Ⓜ]

Minimum floor area per dwelling [Ⓜ]:

Floor Area [Ⓜ]

Residential Buildings sq ft UFA

Total floor area 960 sq ft

UFA Ground floor area 600

35 ft or
2.5
stories
whichever is higher

SELECTED
REFERENCES

3. Zoning Districts

- **Prohibited Uses** §3.7
- **Building and Structure Height Exceptions** §3.11

4. Use Standards

- **Temporary Buildings and Uses** §4.62
- **Prohibited Dwellings** §5.14
- **Outdoor Lighting** §5.18
- **Earth Changes** §5.20

5. Site Standards

- **Fences** §5.9
- **Swimming Pools** §5.10
- **Satellite Dish Antennas** §5.11
- **Storage of Recreation Equipment**
- **Keeping of Animals** §4.61 §5.13 §5.12
- **Storage and Repair of Vehicles**

- **Signs** §5.21
- **Accessory Buildings, Structures, and Uses** §5.24
- **Filling of Land** §5.26
- **Permits** §7.2

The above drawings are not to scale.

6. Development

- **Procedures**
- **Site Plan Review** §6.1
- **Special Land Uses** §6.2
- **Condominiums** §6.3

- **Special Land Uses Permits** §6.4

7. Admin and Enforcement

A. INTENT

The intent of this district is to provide an area for the development of manufactured home parks in compliance with Public Act No. 96 of 1987 (MCL 125.2301 et seq.).



User Note: For uses listed in bold blue, refer to Article 4, or click on use, for use-specific standards

B. PRINCIPAL PERMITTED USES

ii. Manufactured home parks¹
C. SPECIAL LAND USES i.

i. Manufactured homes¹

Reserved

3-18

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Minimum lot area¹:

D. DEVELOPMENT STANDARDS

Lot Size

Manufactured housing park 10 acres
Manufactured housing space 5,000 sq ft
Minimum lot width: 40 ft

Setbacks

Minimum front yard setback: 20 ft*
Minimum rear yard setback: 20 ft*
Minimum side yard setback: 20 ft*
Accessory building setback: 10 ft
Permanent community

7' Min.

owned structures setback: 7 ft
setback: 50 ft
Minimum setback from adjacent home parking space: 7 ft
Minimum common sidewalk

15'

Min.*

Min.
20'

20'

Min.

20' Min.

Maximum building height: 35 feet or 2.5 stories

Building Height

7' Min.

C
L

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adjacent home, including an attached structure that may be used for living purposes for the entire year if the

whichever is higher

* For homes parallel to an internal road, 15 feet from an

35 ft or 2.5 stories

home on and parallel to the same internal road or an intersecting internal road.

adjacent home is sited next to the

SELECTED REFERENCES

3. Zoning Districts

- Prohibited Uses §3.7
- Manufacture Home Park Regulations §3.9
- Building and Structure Height

Exceptions §3.11 §5.12

4. Use Standards

- Keeping of Animals §4.61
- Temporary Buildings and Uses §4.62
- Prohibited Dwellings §5.14

5. Site Standards

- Fences §5.9
 - Swimming Pools §5.10
 - Satellite Dish Antennas §5.11
 - Storage of Recreation Equipment
- The above drawings are not to scale.*

- Storage and Repair of Vehicles §5.13

- Outdoor Lighting §5.18
- Earth Changes §5.20
- Signs §5.21
- Accessory Buildings, Structures, and Uses §5.24
- Filling of Land §5.26

6. Development

- **Procedures**
- Site Plan Review §6.1
- Special Land Uses §6.2
- Condominiums §6.3
- Special Land Uses Permits §6.4

7. Admin and Enforcement

- Permits §7.2
- Nonconforming Lots... §7.7

3-19

28-3.1.10 A.



INTENT

B-1 Local Business District


The B-1, local business district provides locations within the township for small, convenient office and personal service areas. Uses considered to be appropriate for the B-1 district shall cater to the residents of the township and nearby areas, remain small enough in scale to be well integrated into a neighborhood setting, and possess appropriate traffic safety components which will limit potential negative impacts resulting from a nonresidential use. Uses are prohibited which may create hazards; offensive or loud noises; or excessive vibration, smoke, glare, or heavy truck traffic.

 User Note: For uses listed in **bold blue**, refer to Article 4, or click on use, for use-specific standards

B. PRINCIPAL PERMITTED USES

- i. Banks, credit unions, and similar financial institutions, not including drive-through facilities 
- ii. Personal service establishments 

C. SPECIAL LAND USES

- i. **Retail business** §4.28.2
- ii. **Banks, credit unions, and similar financial institutions, including those with drive-through facilities**  §4.33

iii. Professional and business offices

iii. Restaurants, including those with drive

iv. Commercial day care centers 

v. Public buildings and public utility

offices, but not including storage yards, substations, or regulator stations

vi. Accessory buildings and uses

vii. Small wind energy conversion

including other closely related uses

systems §4.59

through facilities §4.30

iv. Mortuaries and funeral homes §4.34

v. Commercial planned unit

development (CPUD) §4.32

vi. Assembly buildings, including auditoriums, theaters, clubs, lodges, banquet facilities

vii. Country clubs and golf courses §4.24

viii. Athletic grounds and parks §4.20

3-20

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B-1 Local Business

District 28-3.1.10

D. DEVELOPMENT STANDARDS

Lot Size

Minimum lot area: 30,000 sq ft

30' Min.

Minimum lot width: 100 ft

Setbacks

Minimum front yard setback: 50 ft
Minimum rear yard setback: 30 ft
Minimum side yard setback: 15 ft

Lot Coverage

Maximum lot coverage: 40 percent

Envelope 

15'
Min.

15' Min.



Building

Building Height 

Maximum building height: 35 ft or 2.5 stories,

whichever is higher

100' Min.

50' Min.

Front Lot Line



R/W C
L



2.5 stories whichever is higher

35 ft or

SELECTED REFERENCES

The above drawings are not to scale.

Special Land Uses Permits §6.4

3. Zoning Districts

- Prohibited Uses §3.7
- B-1, B-2, and LI District Regulations §3.10
- Building and Structure Height Exceptions §3.11

5. Site Standards

- Fences §5.9
- Prohibited Dwellings §5.14
- Mechanical Appurtenances §5.16
- Essential Public Services §5.17

6. Development

- Procedures
- Site Plan Review §6.1
- Special Land Uses §6.2
- Condominiums §6.3

- Outdoor Lighting §5.18

- Earth Changes §5.20

4. Use Standards

- Temporary Buildings and Uses §4.62
- Signs §5.21
- Off-Street Parking and

7. Admin and Enforcement

- Loading §5.22
- Landscaping and Screening §5.23
- Accessory Buildings, Structures, and Uses §5.24
- Filling of Land §5.26
- Permits §7.2
- Nonconforming Lots... §7.7

3-21

28-3.1.11 A.

INTENT

B-2 Business District

The B-2, business district provides locations within the township for larger retail and professional office areas. Uses considered to be appropriate for the B-2 district shall cater to the residents of the township as well as residents of other nearby communities. Careful consideration shall be given to appropriate traffic safety components which will limit potential negative impacts resulting from the more intensive nature of the uses allowed in this district.



User Note: For uses listed in bold blue, refer to Article 4, or click on use, for use-specific standards

B. PRINCIPAL PERMITTED USES

i. Restaurants, not including drive-through facilities

ii. Retail business §4.28.3

iii. Banks, credit unions, and similar financial

i. Retail business §4.28.3

ii. Banks, credit unions, and similar financial institutions with drive-through facilities §4.33

iii. Restaurants with drive-through facilities

C. SPECIAL LAND USES

iv. Service centers §4.36

institutions, not including drive-through

facilities §4.30

offices, but not including storage yards, substations, or regulator stations

v. Vehicle service stations §4.35

vi. Vehicle wash establishments §4.37

vii. Open air businesses §4.38

viii. Accessory buildings and uses

x. Public buildings and public utility offices, with storage yards, substations, or regulator

ix. Small wind energy conversion systems §4.59

x. Building materials sales without outdoor

iv. Personal service establishments

v. Professional and business offices

vi. Commercial day care centers

vii. Public buildings and public utility

viii. Mortuaries and funeral homes §4.34

ix. Sales and storage of building materials §4.39

stations §4.40

xi. Commercial planned unit development (including other closely related operations) §4.18

xii. Hotel and motel establishments §4.45

xiii. Landscaping, lawn service, snowplowing

xiv. Mini-storage units

xv. Assembly buildings §4.43

xvi. Athletic grounds and parks §4.20

xvii. Hospitals, urgent care facilities, private ambulance services and outpatient surgery facilities §4.44

storage (CPUD) §4.32

xviii. Nursing homes §4.27

xix. Country clubs and golf courses §4.24

B-2 Business

District
28-3.1.11

D. DEVELOPMENT STANDARDS

Lot Size

Minimum lot area[□]: 60,000 sq ft

Minimum lot width[□]: 150 ft building setback: 30' Min.

Lot Coverage[□]

Maximum lot coverage: 40 percent

Setbacks[□]

Minimum front yard setback: Building Envelope[□] 20' Min.
50 ft Minimum rear yard setback: 30 ft Minimum side yard setback: 20 ft Accessory^{Min.}

Drip edge from side and

rear lot lines 5 ft

From main building 10 ft

Building Height[□]

Maximum building height: 35 ft or 2.5 stories, whichever is higher
50' Min.

150' Min.

Front Lot Line

R/W C_L

is
higher

2.5
stories
35 ft or whichever

SELECTED REFERENCES

3. Zoning Districts

- Prohibited Uses §3.7
- B-1, B-2, and LI District Regulations §3.10
- Building and Structure Height

Exceptions §3.11

4. Use Standards

- Temporary Buildings and Uses §4.62
- Signs §5.21
- Off-Street Parking and

5. Site Standards

- Fences §5.9
- Prohibited Dwellings §5.14
- Mechanical Appurtenances §5.16
- Essential Public Services

- Outdoor Lighting §5.18
- Earth Changes §5.20

- Loading §5.22
- Landscaping and Screening §5.23
- Accessory Buildings, Structures, and Uses §5.24
- Filling of Land §5.26

6. Development

- Procedures
- Site Plan Review §6.1
- Special Land Uses §6.2
- Condominiums §6.3

7. Admin and Enforcement

- Permits §7.2
- Nonconforming Lots... §7.7

§5.17
The above drawings are not to scale. ■ Special Land Uses Permits §6.4

A.

INTENT

The LI, light industrial district provides locations within the township for light manufacturing, storage, or and other related activities and facilities which will not create hazards, offensive or loud noises, excessive vibration, smoke, or glare. These uses are characterized by moderate lot coverage, adequate setbacks, environmental sensitivity, and creative site design. Such uses will include appropriate traffic safety

components which will limit potential negative impacts resulting from a nonresidential use.

? User Note: For uses listed in **bold blue**, refer to Article 4, or click on use, for use-specific standards

B. PRINCIPAL PERMITTED USES

- i. Industrial plants[☰]
- ii. Wholesale businesses[☰] iii. Warehousing
- iv. Professional office buildings

C. SPECIAL LAND USES

- x. Accessory buildings and uses[☰]

- xi. Landscaping, lawn service,

- xv. Restaurants

i. **Truck and freight terminals, and maintenance facilities** §4.47

ii. **Junkyards[☰] and salvage yards[☰]** §4.48

iii. **Sanitary and hazardous waste landfills** §4.49

v. **Research and development facilities** §4.46

iv. **Removal and processing of soil, sand, gravel,**

storage yards §4.52
snowplowing (including other closely related operations)

xii. Mini-storage units

xiii. **Athletic grounds and parks** §4.20

xiv. **Hospitals[☰], urgent care facilities, private ambulance services and outpatient surgery facilities**

xvi. **Small wind energy conversion systems[☰]** §4.59

vi. Trade or industrial schools

vii. Sales and storage of building materials viii. Utilities and communications installations

ix. Utility and public service buildings, including storage yards or other mineral resources §4.12

v. **Tool and die** §4.50

vi. **Vehicle service stations[☰]** §4.35

vii. **Industrial plants, manufacturing of fabricated products[☰]** §4.64

viii. **Body shops and wrecker services, including**

ix. **Vehicle repair[☰]** §4.54

X. **Adult uses[☰]** §4.53

xi. **Open air businesses[☰]** §4.38 Xii.

Assembly buildings §4.43 Xiii.

Towers in excess of 50 feet §4.13

Minimum lot width[Ⓜ]: 150 ft B-2

D. DEVELOPMENT STANDARDS

Lot Size

Minimum lot area[Ⓜ]: 40,000 sq ft LI Abutting or Facing LI, B1 or
 contiguous to or facing an
 agricultural or residential district 75 ft*

Lot Coverage[Ⓜ]

Maximum lot coverage: 50 percent

Setbacks[Ⓜ]

Minimum front yard setback:

A building 35 ft or less in height
 contiguous to or facing an
 agricultural or residential district 35 ft A
 building over 35 ft in height 50' Min.

A building 35 ft or less contiguous to or
 contiguous to in height contiguous facing an
 or facing LI, to or facing an
 B-1 or B-2 35 agricultural or 30' Min.
 ft Minimum residential district 50 ft
 rear yard A building over 35 ft in Building Envelope[Ⓜ]
 setback: height 30' Min.

or residential district 75 ft* A building contiguous to or facing LI, B-1 or B-2 50 ft

agricultural
 Minimum side yard 150' Min.
 setback: A building 35 ft Front Lot Line
 or less in height 35' min.
 contiguous to or facing an

building exceeds 35 ft
 50 ft* A building
 contiguous to or facing

35ft or
 50 ft
 depending on Abutting
 use

agricultural or residential district
 30 ft A building over 35 ft in
 height
 contiguous to or facing an
 agricultural or residential district
 45 ft* A building contiguous to or
 facing LI, B-1 or B-2 30 ft

R/W C
 L

Building Height[Ⓜ]

Maximum building height:
 A building 35 ft or less in height
 contiguous to or facing an
 agricultural or residential district
 35 ft Contiguous or facing
 residential

LI, B-1 or B-2 50ft

*The setbacks delineated apply
 only to the side of the building
 contiguous to or facing a
 residential or agricultural zoned
 district.

SELECTED REFERENCES

The above drawings are not to scale.

3. Zoning Districts

- Prohibited Uses §3.7
- B-1, B-2, and LI District Regulations

5. Site Standards

§3.10

- Building and Structure Height

Exceptions §3.11

4. Use Standards

- Temporary Buildings and Uses §4.62

- Outdoor Lighting §5.18

- Fences §5.9
- Prohibited Dwellings §5.14

6. Development Procedures

- Site Plan Review §6.1

- Mechanical Appurtenances §5.16
- Condominiums §6.3

- Essential Public Services §5.17
- Special Land Uses Permits §6.4

- Earth Changes §5.20
- Filling of Land §5.26

- Signs §5.21

- Off-Street Parking and

- Loading §5.22

- Landscaping and Screening

- Accessory Buildings, Structures, and Uses §5.24

7. Admin and

- Enforcement

- Permits §7.2

- Nonconforming Lots... §7.7

- Special Land Uses §6.2

3-25

F-1 District

Floodplain Overlay

28-3.1.13 A. INTENT

This district is intended primarily to protect those undeveloped areas of the township which are subject to predictable flooding in the floodplain area of the Looking Glass River and its tributaries so that the reservoir capacity will not be reduced or impede, retard, accelerate or change the direction of flow or carrying capacity of the river valley or to otherwise increase the possibility of flood. The requirements of this division, while

permitting reasonable use of properties within the floodplain, will help protect human life, prevent or minimize material and economic losses and reduce the cost to the public in time of emergency through public aid or relief efforts occasioned by the unwise occupancy of such flood areas.

 **User Note:** For uses listed in **bold blue**, refer to Article 4, or click on use, for use-specific standards

the following purposes by right, subject to site plan delineated on the official Watertown Charter Township Zoning Map.

review in accordance with the provisions of **Section 28-6.1.2:**

B. PERMITTED USES

Notwithstanding any other provisions of this

chapter, land in the F-1 district may be used for

D. DELINEATION OF THE FLOOD HAZARD OVERLAY ZONE

1. The flood hazard area zone shall overlay existing zoning districts

1. **Open space** [☒] uses §4.55

2. Industrial or commercial accessory

use areas, such as loading and parking areas, and similar uses

3. Accessory residential uses such as lawn, gardens, parking areas, and play

and flood boundary and floodway maps.

C. SPECIAL LAND USES

Land and/or buildings in the F-1 district may be used for the following purposes after approval by the township board as a special land use in accordance with the procedures of boundary, the board of appeals shall resolve the dispute.

A. The boundaries of the flood hazard area zone shall coincide with the boundaries of the areas indicated as within the limits of the 100-year flood

Section 6.2.

1. Removal and processing of topsoil, stone,

rock, sand, gravel, lime or other soil or mineral

resources §4.12

boundaries indicated on the flood boundary and floodway map.

The study and accompanying maps are adopted by reference, appended, and declared to be part of this chapter.

in the current report entitled "The Flood Insurance Study, Watertown Charter Township," with accompanying flood insurance rate maps

2. Seasonal uses §4.56 3. Docks and piers

The term flood hazard area as used in this chapter shall mean the flood hazard area zone and the term floodway shall mean the designated regulatory floodway.

B. Where there are disputes as to the location of a flood hazard area zone

C. In addition to other requirements of this chapter applicable to development in the underlying zoning district, compliance with the requirements of this division shall be necessary for all development occurring within the flood hazard area zone.

3-26

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F-1 Floodplain Overlay District 28-3.1.13

E. DATA SUBMISSION

Prior to the issuance of a building permit for structures on or within 100 feet of floodplain areas, the building inspector shall require the

applicant for such permit to submit an approved permit as required by the state department of environmental quality, topographic data, engineering studies, proposed site plan and/or other similar data needed to determine the possible effects of flooding on a proposed structure and/or the effect of the structure on the flow of water. All such required data shall be prepared by a licensed professional engineer, licensed land surveyor, or

2. The use pattern and structure proposed to accomplish said use shall be so designed as not to reduce the water impoundment capacity of the floodplain or significantly change the volume or speed of the flow of water.

licensed architect in the state.

3. Specific base flood elevation standards.

A. On the basis of the most recent

available base flood elevation data all flood level, together with attendant new construction and substantial utility and sanitary facilities, the improvements shall have the lowest floor, including basements, elevated at least one foot above the flood level, or for nonresidential structures, be constructed such that at or below base

substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy.

F. LIABILITY

The township shall incur no liability whatsoever by permitting any use of a building within the floodplain within the township.

structure is watertight with walls

B. A licensed professional surveyor, or licensed engineer, licensed land architect in the met and that the floodproofing methods

G. GENERAL STANDARDS FOR FLOOD HAZARD REDUCTION

1. Development within a flood hazard area, including the erection of structures as permitted by this division, shall not occur except upon issuance of a zoning compliance permit in accordance with the requirements of state shall certify that these standards are

employed are adequate to withstand the flood depths, pressures, velocities, impact, and uplift forces and other factors associated with the base flood in the location of the structure. Such certification

this chapter and the following standards:

shall be submitted as provided in this elevation to chapter and shall indicate the

- i. The requirements of this division shall be met;
- ii. The requirements of the underlying zoning district and applicable general provisions of this chapter shall be met;
- iii. All necessary development permits

C. Available flood hazard data from federal, state, or other sources shall be reasonably utilized in meeting the standards of this division. The most recent flood elevation data received from the federal emergency

which the structure is floodproofed.

shall have been issued by appropriate local, state, and federal authorities, including a floodplain permit, approval, or letter of no authority from the state department of environmental quality under authority of Part 31 of Public Act No. 451 of 1994 (MCL 324.3101 et seq.). Where a development permit cannot be

management agency shall take precedence over data from other sources.

4. All new construction and substantial improvements within a flood hazard area, shall:

A. Be designed and anchored to prevent

flotation, collapse, or lateral movement of the structure;

B. Be constructed with materials and utility

issued prior to the issuance of a zoning compliance permit, a letter from the issuing agency indicating intent to issue contingent only upon proof of zoning compliance shall be acceptable.

5. All new and replacement water supply systems

C. Be constructed by methods and practices that minimize flood damage.

shall minimize or eliminate infiltration of

floodwaters into the systems.

3-27

28-3.1.13

F-1 Overlay Floodplain District

6. All new and replacement sanitary sewage

systems shall minimize or eliminate infiltration

of floodwaters into the systems

and

discharges from systems into floodwaters. On site waste disposal systems shall be located to avoid impairment to the system or contamination

from the system during flooding.

7. All public utilities and facilities shall be designed, constructed and located to minimize or eliminate flood damage.

8. Adequate drainage shall be provided to reduce exposure to flood hazards.

9. The flood carrying capacity of any altered or relocated watercourses not subject to state or federal regulations designed to ensure flood carrying capacity shall be maintained.

0284d, 0286d,

0292d, 0303d, 0311d, and 0313d and dated 5/3/11 are adopted by reference for the purposes of administration of the Michigan Construction Code, and declared to be a part of Section 1612.3

H. DESIGNATION OF REGULATED FLOOD PRONE HAZARD AREAS

The Federal Emergency Management Agency (FEMA) Flood Insurance Study (FIS) entitled Clinton County, Michigan (all jurisdictions) and dated 5/3/11 and the Flood Insurance Rate Map(s) (FIRMs) panel number(s) of 26037c; 0276d,

of the Michigan Building Code, and to provide the content of the "flood hazards" section of table

0277d, 0278d, 0279d, 0283d, r301.2(1) of the Michigan Residential Code.

SELECTED
REFERENCES

3. Zoning Districts

- [Prohibited Uses](#) §3.7

5. Site Standards ■ [Fences](#) §5.9

6. Development Procedures ■
[Site Plan Review](#) §6.1

- [Building and Structure Height Exceptions](#) §3.11

- [Essential Public Services](#) §5.17

[Lighting](#) §5.18

- [Condominiums](#) §6.3

4. Use Standards

- [Temporary Buildings and Uses](#) §4.62

- [Junk](#) §5.19
- [Earth Changes](#) §5.20
- [Off-Street Parking and Loading](#) §5.22
- [Landscaping and Screening](#) §5.23
- [Accessory Buildings, Structures, and Uses](#) §5.24
- [Filling of Land](#) §5.26

- [Special Land Uses Permits](#) §6.4

7. Admin and Enforcement ■
[Permits](#) §7.2

- [Nonconforming Lots...](#) §7.7

3-28

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(Intentionally Blank)

3-29

Overlay District

28-3.1.14

LGR Looking Glass River

A. INTENT

The Looking Glass River overlay district is a supplementary district which applies to designated lands, as

described in this division, simultaneously with any of the other zoning districts established in this chapter, hereinafter referred to as the "underlying" zoning district. Lands included in the Looking Glass River overlay district are all such lands located along the shoreline areas of the Looking Glass River and are characterized

by uses which are strongly oriented toward the residential and recreational experience and enjoyment of the surface waters and shorelines of the river within the township.

It is the intent of the Looking Glass River overlay district to provide regulations in addition to those contained

in the underlying zoning district pertaining to lands located along the surface waters and shorelines of the river. The purpose of these regulations is to recognize the unique physical, economic, and social attributes of these shoreline properties and to ensure that the structures and uses in this district are compatible with

and

protect these unique attributes. Where specific requirements of the Looking Glass River overlay district vary or conflict with the regulations contained in the underlying zoning district, the stricter requirement shall govern.



User Note: For uses listed in **bold blue**, refer to Article 4, or click on use, for use-specific standards

B. PERMITTED USES

overlay district, except as modified in this Section.

Land in the LGR district may be used for the following purposes by right, subject to site plan review in accordance with the provisions of Section 28-6.1.2:

1. Any permitted use in the underlying zoning district.

3. Additional setbacks and lot widths for structures adjacent to the Looking Glass River.

A. A minimum lot width of 150 feet shall be required.

B. Notwithstanding any other provision

D. No dwelling shall be constructed or placed

district apply to properties

of this chapter, no dwelling, accessory
2. Private boat docks, accessory to residential

uses §4.57

building, or septic system shall be hereafter constructed, erected, installed,

3. Private boat docks, accessory to nonresidential uses §4.58

or enlarged within a minimum of 150 feet (as measured from the shoreline or ordinary high-water mark) from the

C. SPECIAL LAND USES

Land and/or buildings in the Looking Glass River

overlay district may be used for the following

purposes after approval by the township board as

D. DISTRICT REGULATIONS

1. The regulations of this division apply to all waterfront lots (as defined in Section 2.2, "lot, waterfront") or parcels with a shoreline along the Looking Glass River.

2. All district regulations of the underlying zoning

within the LGR

Looking Glass River, except that for every one foot of bank height above a minimum of seven feet above the ordinary high water mark new structures may be placed five feet closer to the River, except that no

a special land use in accordance with the procedures of Section 6.2:

1. Any special land use in the underlying zoning district

2. Public or private campgrounds §4.25

3. Public or private boat launches structure shall be located closer than 100 feet to the shoreline or ordinary high water mark.

C. New structures must be set back at least 50 feet from the top of the bluff on the cutting edges of the River.

on lands which are subject to flooding or on banks where a minimum of four feet between the finished grade level and high groundwater cannot be met. Land may be filled to meet the minimum requirement of four feet between the finished grade level and ordinary high-water mark only under the following conditions:

LGR Looking Glass River Overlay District

i. The vegetative strip is maintained, as required by Section 28-3.1.14.D.4.

ii. No material is allowed to enter the water either by erosion or mechanical

C. The zoning administrator may allow limited clearing of the vegetative strip, only when required for construction of a permitted

building or structure outside the vegetative

means.

iii. Fill material is of a pervious material such as gravel or sand.

iv. Any and all permits have been acquired as required by the laws of the state and the rules and regulations of the state department of environmental quality of the state, provided that it shall be unlawful to alter the shoreline of any river or

strip, provided that the land cleared creek in the township by soil removal or fill.

v. All filling or grading work shall be accomplished so as not to alter the natural drainage of adjoining land.

is returned to a vegetative state this which is approximately the same quality and extent as that which existed prior to the clearing.

5. No building or structure, nor the enlargement of any building or structure, shall be thereafter erected unless the requirements of the underlying districts are met and maintained in connection with such building, structure, or enlargement, except as noted below:

A. Except as otherwise required by

closer than 50 feet from the break of the

bank, or from the shoreline if no break of

the bank exists.

4. Vegetative strip.

division, no main building shall be placed

B. Developments within the Looking Glass River overlay district shall maintain, to a

A. Excepted as noted in by Section 28- 3.1.14.D.4.B, a strip of 50 feet bordering

reasonable extent, open and unobstructed views to the waterway from adjacent

each bank of the Looking Glass River, as measured from the shoreline or ordinary high water mark, shall be maintained in its natural vegetative state, except for the permitted clearing of dead or noxious plants.

properties, roadways, and pedestrian ways.

B. Within this strip a space of no greater than 50 feet in width may be selectively

trimmed and pruned to allow for the

placement of private boat docks (subject

to the requirements of Section 28-

3.1.13.D) and/or for a view of the

waterway, with the approval of the zoning

administrator. In addition, 40 percent of the lot width of the lot line adjacent to the river may be cleared.

Permits §6.4

SELECTED REFERENCES

3. Zoning Districts

- Prohibited Uses §3.7
- Building and Structure Height Exceptions §3.11

5. Site Standards

- Fences §5.9
- Essential Public Services §5.17
- Junk §5.19
- Earth Changes §5.20

6. Development

- Procedures ■ Site Plan Review §6.1
- Special Land Uses §6.2
- Condominiums §6.3
- Special Land Uses Screening §5.23

4. Use Standards

- §4.62
- Accessory Buildings, Structures, and Uses §5.24
- Filling of Land §5.26

- Temporary Buildings and Uses §5.22
- Off-Street Parking and Loading §5.22
- Landscaping and

7. Admin and Enforcement

- Permits §7.2
- Nonconforming Lots... §7.7

3-31

Overlay District

28-3.1.15

GR Grand River Avenue

A. INTENT

Township officials recognize that Grand River Avenue is an important transportation route through the community. Grand River Avenue serves as a major east-west transportation route through the township and provides connections with the major north-south routes and to I-96 and I-69. The regulations of this division apply to all lots or parcels with any lot line abutting Grand River Avenue.

The intent of the Grand River Avenue overlay zoning district is to provide specific standards for the corridor to preserve its traffic carrying capacity, natural features, and preservation of the rural character of the township while accommodating a reasonable amount of growth.



User Note: For uses listed in bold blue, refer to Article 4, or click on use, for use-specific standards

B. PURPOSE

Among the specific purposes of the corridor

overlay zoning district are:

1. Encourage efficient flow of traffic by minimizing conflicts from turning movements.

D. SPECIAL LAND USES

Land and/or buildings in the Grand River Avenue overlay zoning district may be used for the following purpose after approval by the township board as a special land use in accordance with the procedures of Section 6.2: Any special land use in

2. Make land use and site plan review decisions with the transportation system to sustaining the capacity of the road by limiting and controlling the number and location of driveways and requiring alternate means of access through shared driveways, service drives, and access from cross streets. the underlying zoning district.

E. DISTRICT REGULATIONS

1. Generally. The regulations of this division apply to all lots or parcels with any lot line abutting Grand River Avenue.
3. Sustain the traffic carrying capacity of the
2. Compliance before erection of structure. No

roadway in order to delay or avoid premature widening which would detract from the character of the township.

4. Ensure that distractions to motorists are building or structure, nor the enlargement of any building or structure, shall be thereafter erected unless the following district regulations are met and maintained in

minimized by avoiding blight and clutter,

promoting aesthetics, and providing property

owners and businesses with appropriate

design flexibility and visibility.

connection with such building, structure, or enlargement. Should any

requirement of this district conflict with the requirement of the underlying zoning district, the stricter of the requirements shall prevail.

5. Encourage the rural and village character as expressed through the master plan by requiring buildings and parking to be set back from the roadway.

6. Encouraging landscaping in sites along the roadway as developed to preserve the rural character and complement existing natural

3. Driveways.

A. Generally, Driveways within the Grand River Avenue overlay zoning district shall be located as follows:

i. Each lot may be permitted one driveway, provided the spacing

features within the township. requirements of this Section additional driveway can be achieved. One

C. PERMITTED USES

Land and/or buildings in the Grand River Avenue overlay zoning district may be used for the following purpose by right, subject to site plan review in accordance with the provisions Section 28-6.1.2: Any permitted use in the underlying

may be permitted on parcels with lot widths exceeding 500 feet.

ii. Additional driveways may be permitted by the planning commission for any site, providing the spacing and alignment criteria listed in Section 28-3.1.15.E.3.B are met,

zoning district.

and a traffic impact study is

3-32

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28-3.1.15

GR Grand River Avenue Overlay District

drives may minimize the number of

completed which justifies an additional driveway. The planning commission may permit two, one-way driveways rather than a single dual movement driveway for particular

driveways onto Grand River Avenue, and as

a means to ensure that traffic is able to

safely ingress and egress. Where service

uses where safer, more efficient circulation and function of the drives can be demonstrated.

iii. The applicant shall submit evidence indicating that the sight distance requirements of the state department of transportation (MDOT) or the county road commission, as

appropriate, are met.

B. Spacing and alignment. drives and frontage roads are constructed they shall be set back as far as reasonably possible from the intersection of the access driveway

with the street. A minimum of 25 feet shall be maintained between the public street right-of-way and the pavement of the service drive.

i. Driveways shall be spaced a minimum of 185 feet from driveways on the same side of the street,

ii. Driveways shall be aligned with driveways on the

opposite side of the
Access
setback
as far as
possible Service Drive
25 ft min

4. Setbacks and landscaping.

street or spaced a minimum of
150 feet, centerline to centerline. A. Notwithstanding the
iii. Driveways shall be spaced at least 125 feet from
an intersection of a private road or public street
measured from near pavement edge of the street to
near pavement edge of the driveway throat.
underlying zoning district, main buildings
along Grand River Avenue shall be set back

requirements of the
a minimum of 75 feet from the right-of-way
of Grand River Avenue, unless a greater
setback is required by the underlying
zoning district.

C. Frontage roads and service drives. require the
The planning commission may

except that no parking area shall be
construction of frontage roads or rear service drives
along parcels to connect future or existing
developments. In particular the planning commission
shall require development of service drives where
service drives can provide access
located nearer than 50 feet from the right
of-way of Grand River Avenue.

B. Parking may be permitted in the front yard,

C. The first 50 feet of the front yard, except
for necessary entrance or service drives,
shall be landscaped in accordance with the
requirements of Section 5.23.

to signalized locations, where
service

5. Solar energy systems are
permitted by special land use only
as an accessory use to a principal

5. Site Standards

permitted or special land use which
is

6. Development Procedures

SELECTED REFERENCES 3.

Zoning Districts

connected to a public water supply
and sanitary

sewer system.

- Prohibited Uses §3.7
- Building and Structure Height
- Exceptions §3.11
- Fences §5.9
- Essential Public Services §5.17
- Loading §5.22
- Landscaping and Screening §5.23
- Temporary Buildings and Uses §4.62
- Earth Changes §5.20
- Signs §5.21
- Off-Street Parking and
- Junk §5.19
- Site Plan Review §6.1
- Land Uses §6.2
- Condominiums §6.3
- Special
- Permits
- Nonconforming Lots... §7.2
- Filling of Land §5.26
- Special Land Uses
- Permits §6.4

4. Use Standards

7. Admin and

28-3.2 THE ZONING MAP

Unless otherwise noted as "not mapped," the

locations and boundaries of these descriptions are

hereby established on a map entitled "Watertown

6. Boundaries following the shoreline of stream, lake, or other body of water shall be construed to follow such shoreline, and in the event of change in the shoreline shall be construed as moving with the actual shoreline. Boundaries

Charter Township Zoning Map" which is hereby adopted and declared to be a part of this chapter.

1. Regardless of the existence of copies of the zoning map which may be made or published, the official zoning map shall be located in the office of the zoning administrator and shall be the final authority as to the current zoning status in the township. A record is to be kept by

indicated as approximately following the centerline of streams, rivers, canals, or other bodies of water shall be construed to follow such centerlines.

7. Where the application of the aforesaid rules leaves a reasonable doubt as to the boundaries between two districts, the regulations of the more restrictive district shall govern the entire

following railroad lines shall be construed to be

the centerline of the railroad right-of-way.

the zoning administrator of all changes made or required to be made to the official zoning map.

2. The official zoning map shall be identified by the signature of the zoning administrator, attested to by the township clerk.

parcel in question, unless otherwise determined by the zoning administrator.

28-3.4 ZONING OF VACATED

AREAS Whenever any street, alley or other public way

3. The official zoning map is to be kept up to date,

inaccessible to the general public, and shall be

within the township is vacated by official governmental action, and when the lands within the

the final authority as to the current zoning district status of all land and buildings in the township which are subject to the provisions of this chapter.

28-3.3 CONFLICTS WITH ZONING DISTRICT

boundaries thereof attach to and become a part of lands adjoining such street, alley, or public way, such lands shall automatically be subjected to the same zoning regulations as are applicable to the adjoining lands.

BOUNDARIES

Where uncertainty exists as to the boundaries of

28-3.5 ZONING OF FILLED LAND

Whenever any fill is placed in any lake

or stream, zoning districts as shown on the zoning map, the following rules shall apply:

1. Where the boundaries are indicated as after all required permits are obtained the land thus created shall automatically and without further governmental action thenceforth acquire and be

approximately following the street, alleys, or

highways, the centerlines of said streets, alleys,

or highways, or such lines extended shall be

construed to be such boundaries.

2. Boundaries indicated as approximately subjected to the same zoning regulations under this chapter for such adjoining lands. No use of the surface of any lake or stream shall be permitted for any purpose not permitted on the land from which the use emanates.

following lot lines shall be construed as following such lot lines.

3. Boundaries indicated as approximately following township boundary lines shall be construed as following such township lines.

4. Boundaries indicated as approximately

28-3.6 ZONING DISTRICT CHANGES

When district boundaries hereafter become changed, any use made nonconforming by such change may be continued, subject to the provisions of this chapter.

5. Boundaries indicated as approximately parallel to the centerlines of streets or highways shall be construed as being parallel thereto and

at such distances therefrom as indicated on the official zoning map. If no distance is given, such dimension shall be determined by the use of the scale shown on the official zoning map.

3-34

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28-3.7 PROHIBITED USES, GENERALLY

Uses not specifically permitted and uses not clearly similar to permitted uses in a district, as determined by the zoning administrator, are hereby prohibited. Medical marihuana dispensaries, and medical marihuana facilities as defined in the

permitted under this Section, if the parcel meets the requirements of this chapter.

Medical Marihuana Facilities Licensing Act, being Public Act 281 of 2016, including growers, processors, secure transporters, provisioning centers, safety compliance facilities and class B home occupations not expressly permitted in a zoning district are prohibited in that district.

Marihuana establishments, as that term is defined at MCL 333.27953 are completely prohibited within the township in all zoning districts. A marihuana establishment does not include the transportation of marihuana through the township.

28-3.8 AP AGRICULTURAL PRESERVATION DISTRICT REGULATIONS

Permitted lot splits. The number of lots permitted

A. For the preservation of the interests of

shall be governed by the following: In total, the number of lots together with any previous divisions of the same parent parcel or parent tract, shall result in a number of lots not more than the sum of the following, as applicable:

1. For the first ten acres or fraction thereof in the parent parcel or parent tract, four parcels. developments in the township.

2. For each whole ten acres in excess of the first ten acres in the parent parcel or one additional parcel, for up to a maximum of 11

township's boundaries and are a prohibited use greater than ten acres in size.

7. No further splits beyond those permitted by this Section are permitted, unless the property is rezoned to another zoning district permitting greater density.

28-3.9 MHP MANUFACTURED HOME PARK DISTRICT

1. Intent and purpose.

6. Each lot created shall not exceed the maximum lot width to depth ratio of one to four. The depth to width ratio requirements of this ordinance shall not apply to those parcels

various types of residential developments

which should be permitted in every

community and for the protection of the residents of any manufactured home park development, these regulations are

B. All manufactured home parks shall comply

with the applicable requirements of Public

Act No. 96 of 1987 (MCL 125.2301 et

seq.), provided further that said developments meet the standards and

additional parcels.

- 3. For each whole 40 acres in excess of the first 120 acres in the parent parcel or parent tract, one additional parcel.
- 4. For a parent parcel or parent tract of not less than 20 acres, the division may result in those permitted by a total of two parcels in addition to inspector. Such permit shall be issued by the building inspector after making this Section if one or both of the following apply:

than 20 acres, the division may result in those permitted by a total of two parcels in addition to inspector. Such permit shall be issued by the building inspector after making this Section if one or both of the following apply:

- A. Because of the establishment of one or more new roads, no new driveway accesses to an existing public road for any of the resulting parcels under Section 28-3.1.2.D are created or required. finding that said manufactured home meets construction standards as approved by the federal department of housing and

- B. One of the resulting parcels under Section 28-3.1.2.D and this subsection comprises not less than 60 percent of the area of the parent parcel or parent tract.

- 5. A parcel of 40 acres or more created by the division of a parent parcel or parent tract shall not be counted toward the number of parcels other purpose until such time as said manufactured home is placed or situated

- A. No manufactured home shall be placed or parked or installed in a manufactured home park until such time as a building permit is obtained from the building

urban development (HUD) code, or has been certified by a manufacturer as constructed according to the requirements of the federal HUD code.

- B. No manufactured home shall be occupied

on a specific lot in the manufactured home park and has been inspected by the building inspector and issued an occupancy permit. Such inspection shall

3-35

- C. Site plan. Following approval of a rezoning, if required, any application for the extension, alteration, or construction of a manufactured home park shall be approved by the township board, following

include the placement, the connection to utilities, and compliance with all necessary state, township, county, or other ordinances and regulations. Such permit shall be issued by the building inspector on

payment of inspection fee as may be authorized by resolution of the township board from time to time. In the event said manufactured home is moved to another lot or another manufactured home is placed on the specific lot, a new

certificate of occupancy must be obtained by the owner or resident from the building receipt of a recommendation by the planning commission.

4. Standards and regulations. All manufactured home parks shall be designed and developed in accordance with the following standards and regulations:

- A. Minimum number of manufactured home

- 3. Application procedures.
 - A. Generally. Application for approval of a

manufactured home park shall not be considered by the township until an application shall be accompanied by a plan conforming with the provisions and requirements of [Section 28-6.1](#).

B. Each manufactured home park shall have

application for a rezoning has been

approved by the township in accordance

with the master plan.

more than one family.

iv. Whether the proposed

125.1941.

can be reasonably expected to constitute a health hazard or public nuisance to adjacent properties because of inappropriate or inadequate sanitation and/or drainage facilities.

v. Whether the proposed development

F. Each lot shall front on sidewalks as governed by MAC R 125.1928.

G. Each lot shall provide a minimum

with the provisions of this chapter. Such application shall be accompanied by a direct access only to a major street or state trunkline highway.

C. No access to the site shall be located

ii. Whether the proposal meets all the design standards of this chapter and other applicable local codes, regulations, or ordinances.

iii. Whether the density of the proposed development could adversely affect adjacent properties and land uses.

E. The minimum setback between any development

number of parking spaces as required by MAC R 125.1925 and R 125.1926.

H. The front, back and side yards of every lot shall be suitably landscaped and properly produces an extreme or undue

demand on available fire and police

maintained with lawn area, and there

shall be one shade tree, at least ten feet in

B. Standards. The following standards shall be satisfied before a rezoning for the manufactured home park is granted:

i. Whether the proposal is in accordance closer than 200 feet from any public street intersection. Minimum street widths within the manufactured home park shall be accordance with MAC R 125.1920.

D. No more than one manufactured home shall be parked on any one lot, and no manufactured home shall be occupied by

part of any manufactured home and/or structure permanently or temporarily attached thereto (excluding hitch), or used in conjunction therewith, including, but not by way of limitation, storage sheds, cabanas, and porches shall be as provided in MAC R

protection.

vi. Whether the traffic characteristics of the proposed development can be expected to place an extreme or undue burden on the adjacent publicly available vehicular and/or pedestrian circulation facilities.

height provided for each lot.

I. The manufactured home park shall provide a buffer zone in accordance with the requirements of this chapter.

J. Any buildings associated with the manufactured home park shall have

minimum setback from any public street as